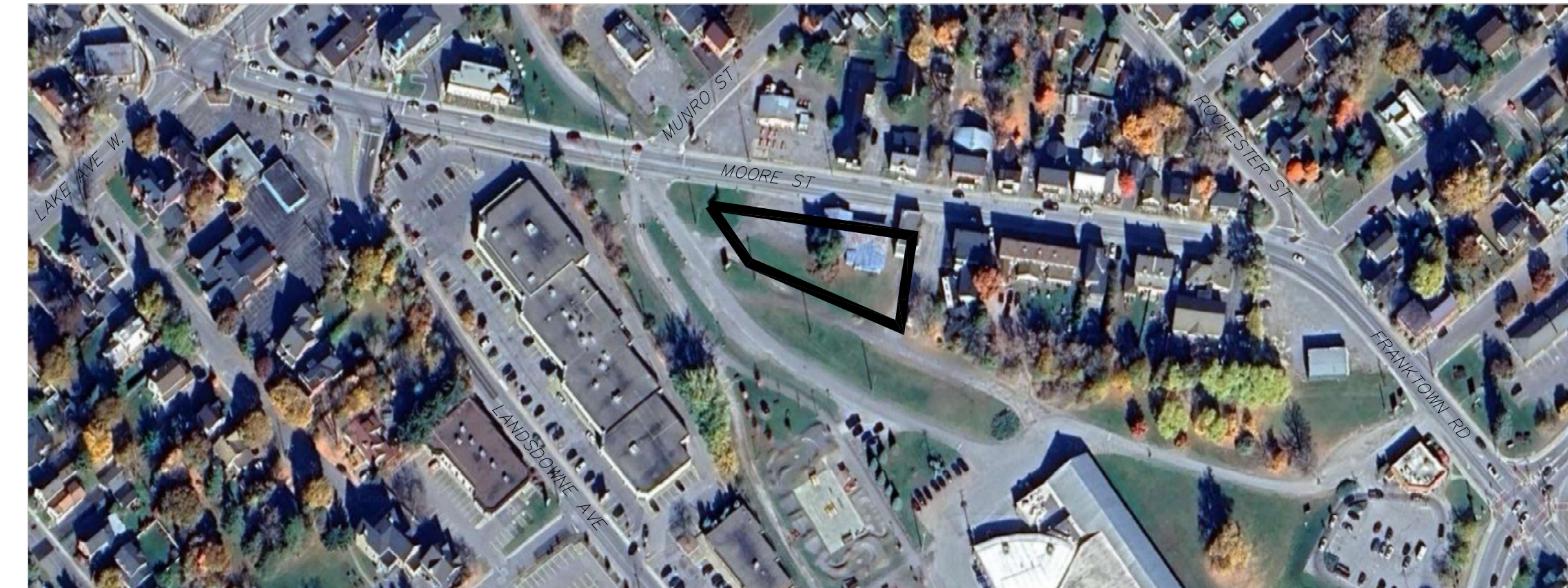


SITE PLAN _ 1:125



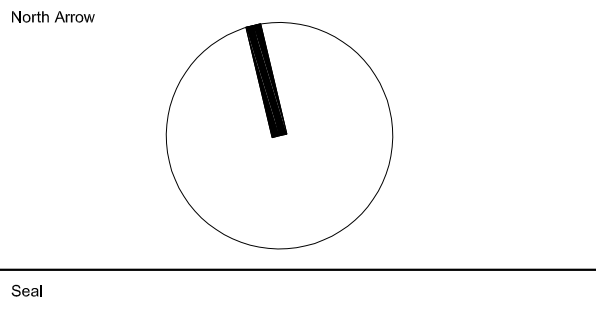
PROVISION	REQUIRED	PROVIDED
MINIMUM LOT AREA	NIL	2,098 m ²
BUILDING FOOTPRINT AREA		663 m ²
BUILDING GROSS AREA		1283 m ²
MINIMUM LOT WIDTH	NIL	81.11 m
MAXIMUM LOT COVERAGE	NIL	N/A
FRONT YARD	NO MIN. OR ALIGNED TO NEIGHBOURING PROPERTIES	1.5 m
EXTERIOR SIDE YARD	NO MIN. OR ESTABLISHED BLDG LINE	
INTERIOR SIDE YARD	3.0m MIN @ RESIDENTIAL LOT	
REAR YARD	NIL	
LANDSCAPED SPACE IN REAR YARD	NIL	N/A
MAXIMUM BUILDING HEIGHT	22 m	9 m
PARKING	50% (1/20m ² of GFA) = 32	30 + 2 INTERIOR = 32
BARRIER FREE PARKING	4% OF VEHICLE PARKING = 2	2 BF SPACE
BICYCLE PARKING	4% OF VEHICLE PARKING = 2	3
LOADING SPACES	BUILDING AREA 250 > 1000 = 1	1

SITE DATA	
LEGAL DESCRIPTION	PART 30, 5R-10105, PIN 04744-0135
CIVIL ADDRESS	60-66 MOORE ST, CARLETON PLACE K7C 2R2
ZONING NOTES	MISSISSIPPI TRANSITIONAL SECTOR
BUILDING AREA	684 m ²

Note: This drawing is the property of the Designer and may not be reproduced or used without the expressed consent of the Designer. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Designer and obtain clarification prior to commencing work.

REVISION RECORD

2025-08-07 ISSUED FOR DEVELOPMENT PERMIT
ISSUE RECORD



DS STUDIO

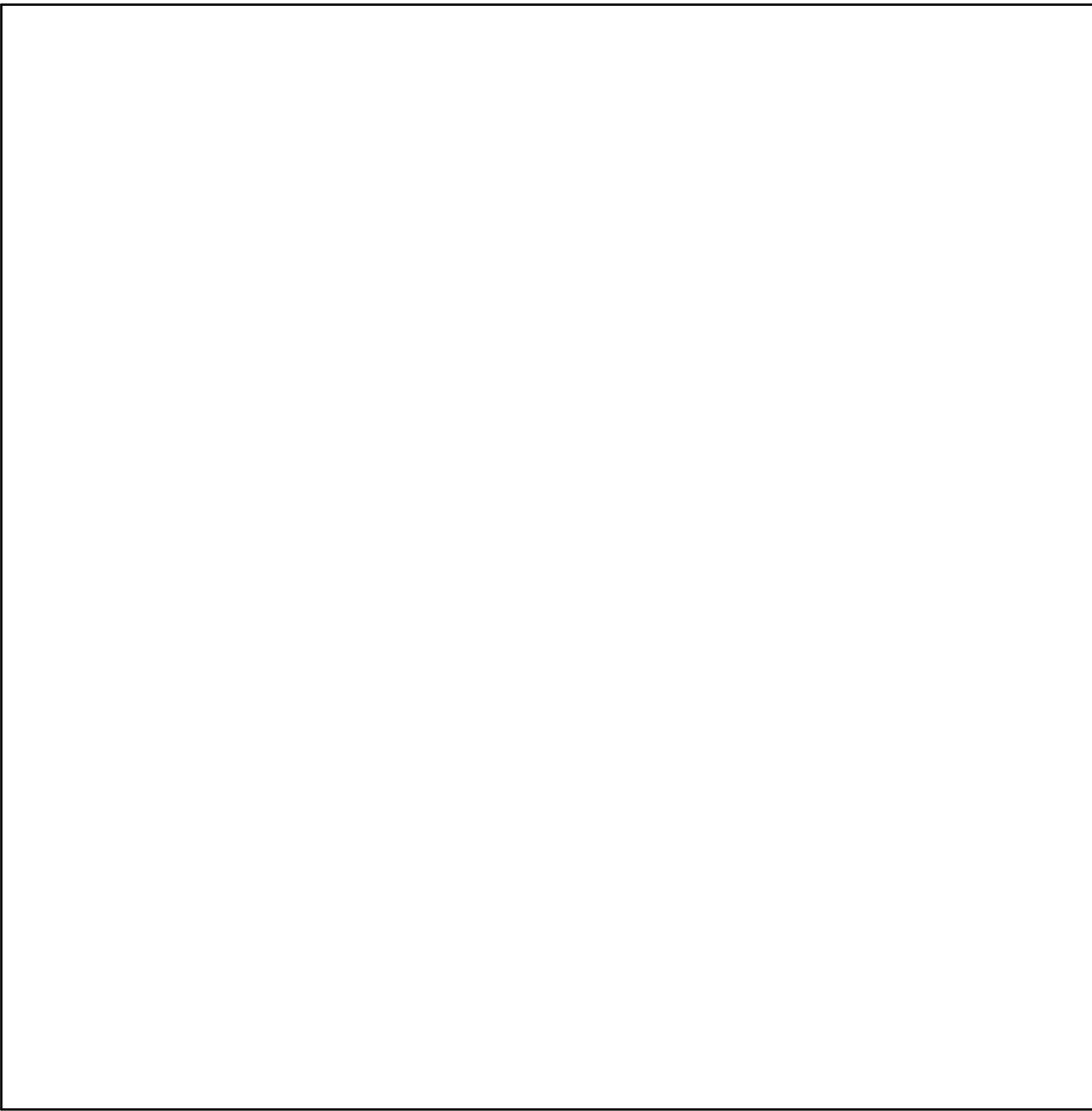
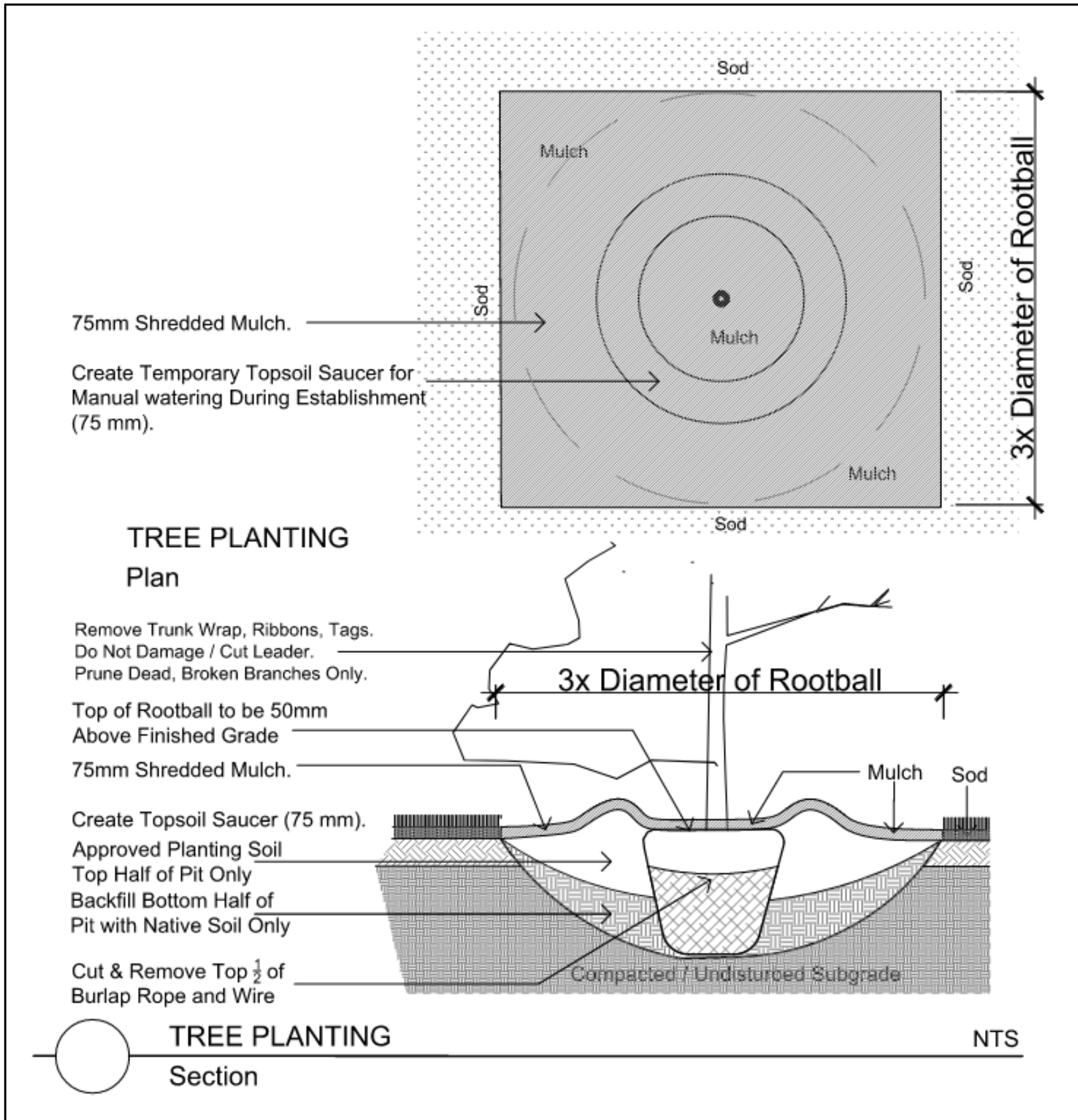
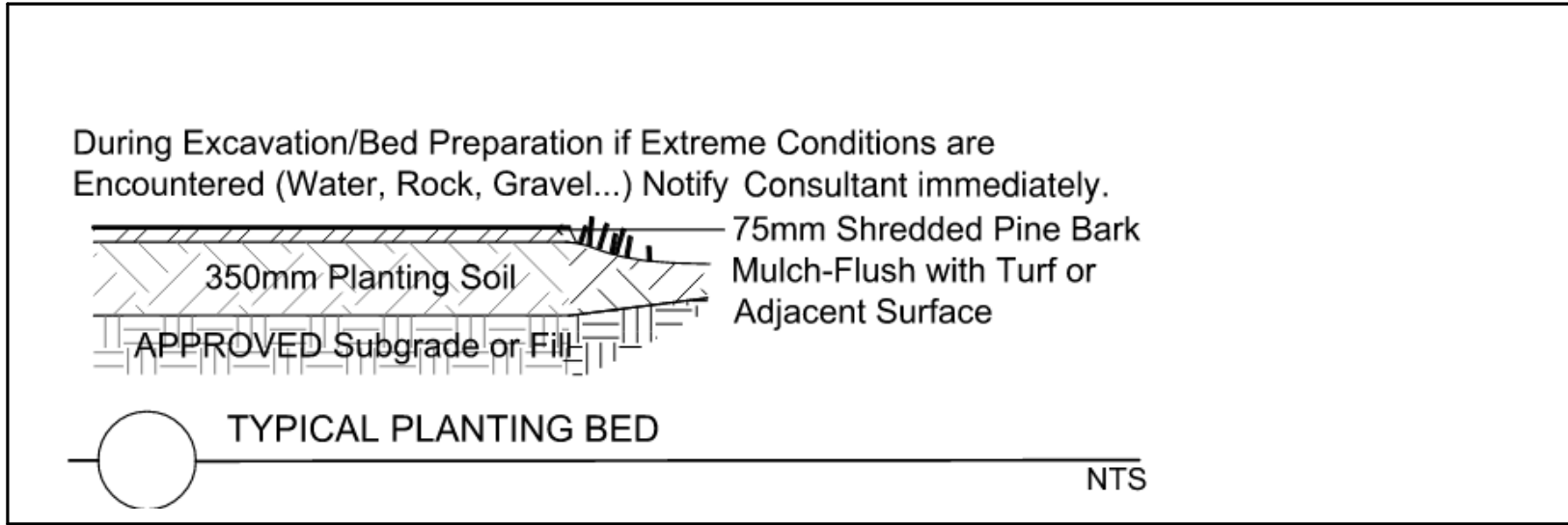
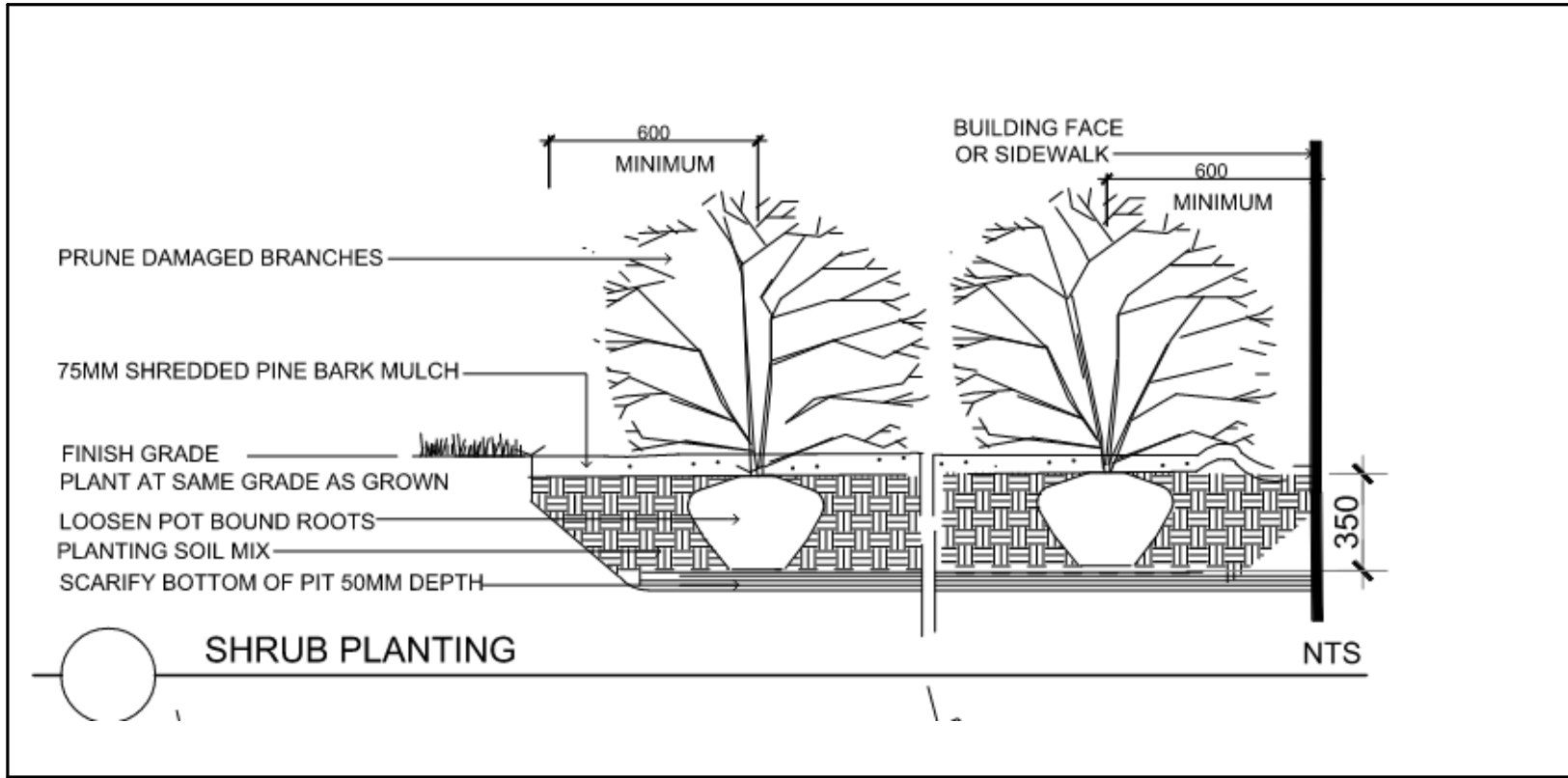
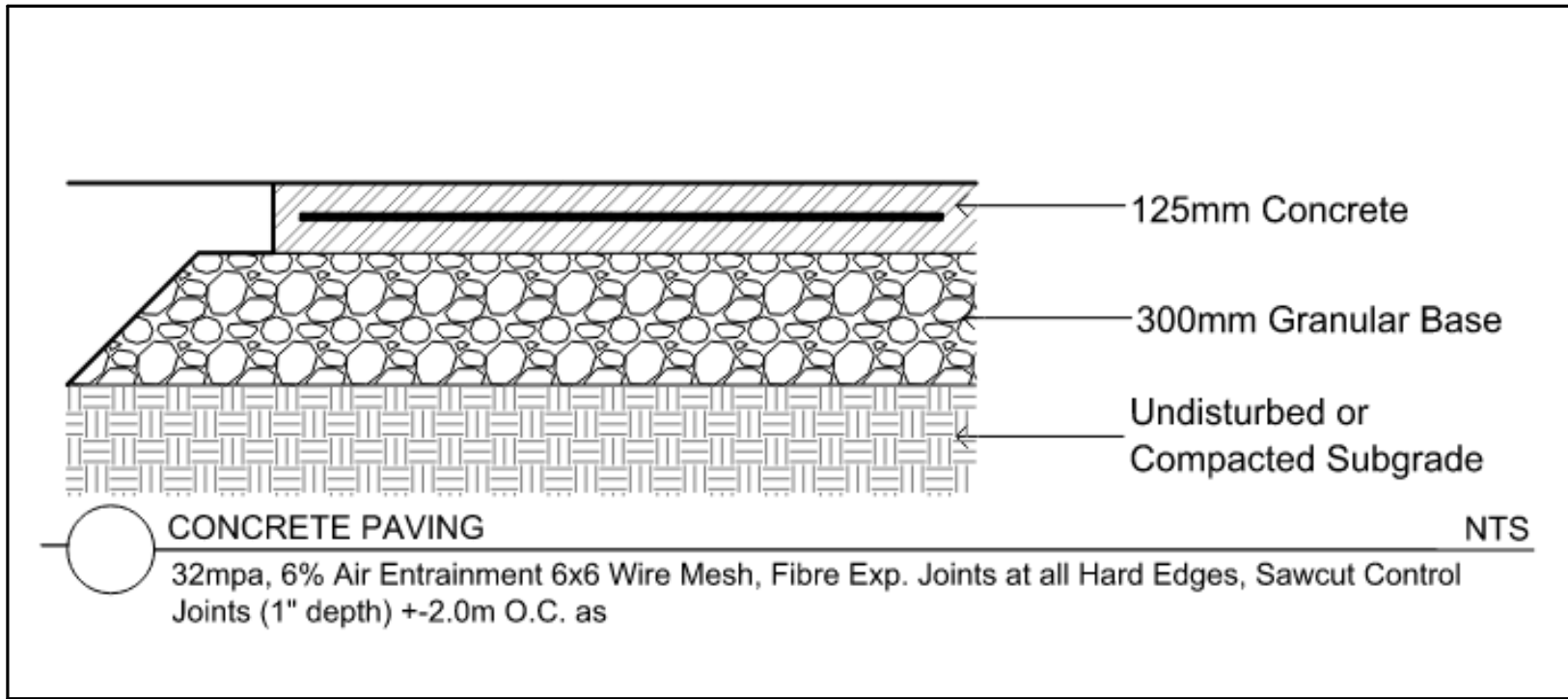
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Architecture DS STUDIO INC. | OAA
703 Bloor Street West | Box 4 | Toronto, ON | M6G 1L5
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60-66 MOORE ST
CARLETON PLACE / ONTARIO

2025-21 1:125 LE
Project No. Scale Drawn by. Reviewed by.

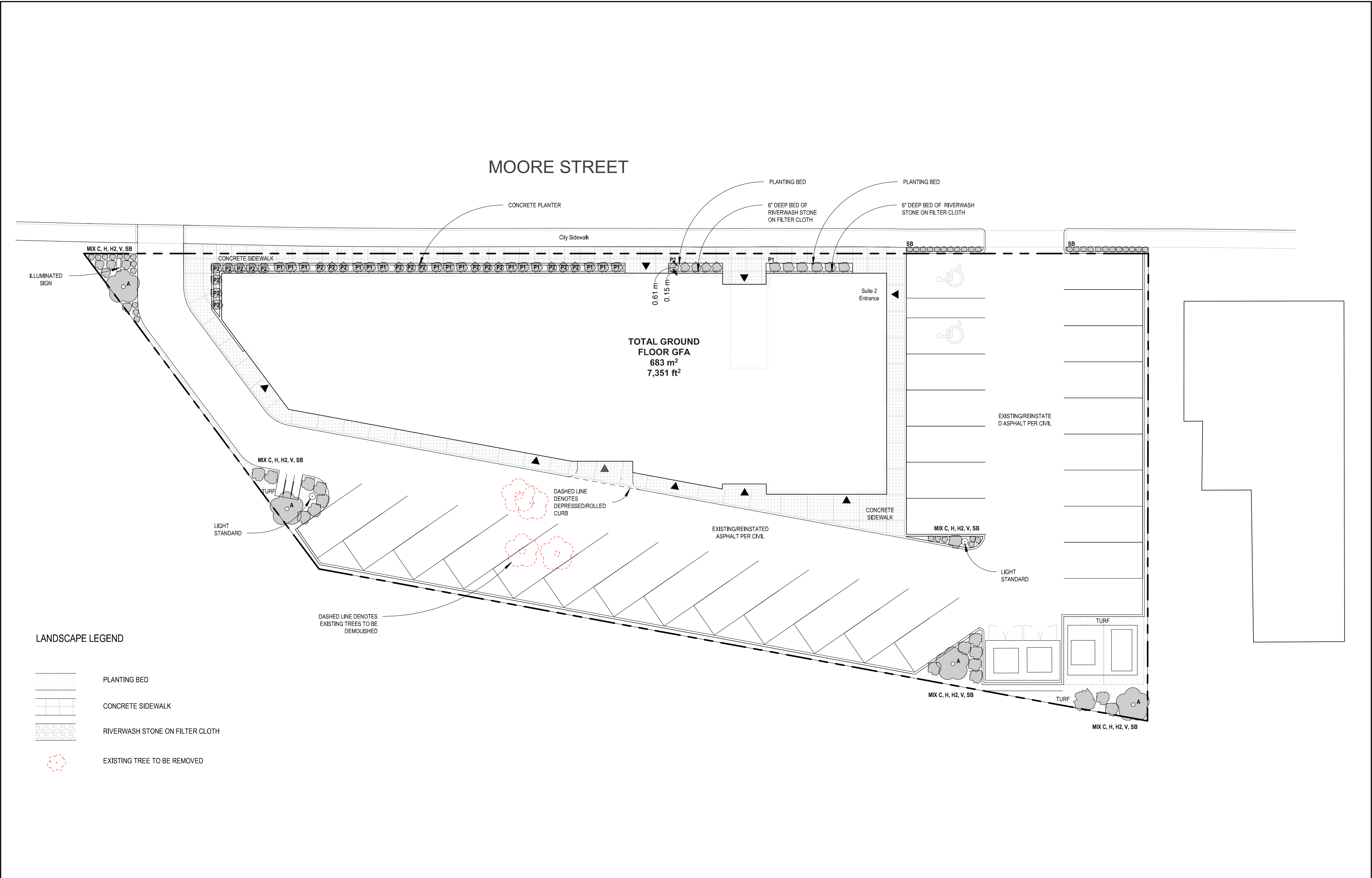
SITE PLAN A1.00
Drawing Title Drawing No.



PLANT TYPES				
TREES				
CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
A	AMELANCHIER CANADENSIS	SERVICEBERRY	100CM HT.	POT
SHRUBS / GROUNDCOVER				
CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
C	CORNUS RACEMOSA	GREY DOGWOOD	100CM HT.	POT
H	HYPERICUM KALMIANUM	ST. JOHN'S WORT	30CM HT.	POT
H2	HYPERICUM PROLIFICUM	SHRUBBY ST. JOHN'S WORT	40CM HT.	POT
V	VIBURNUM LENTAGO	NANNYBERRY	100CM HT.	POT
SB	ILEX CRENATA	SKY BOX JAPANESE HOLLY		
PLANTS				
CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
P1	CALAMAGROSTIS ACUTIFOLIA 'OVERDAM'	FEATHER REED GRASS	9CM POT	POT
P2	IMPERATA CYLINDRICAL 'RED BARON'	JAPANESE BLOOD GRASS	9CM POT	POT

- ### LANDSCAPE GENERAL NOTES
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF SITE LOCATIONS OF ALL UTILITIES. REPORT ANY DISCREPANCIES BETWEEN SITE AND DRAWING IMMEDIATELY TO ARCHITECT. DO NOT PROCEED UNTIL CLARIFIED.
 - TURF AREAS TO BE 300 CMx150MM DEPTH TOPSOIL ON APPROVED SUBGRADE. SOD TO BE #1 GRADE TURFGRASS NURSERY SOD per NSGA - FINE FESCUE/KENTUCKY BLUEGRASS SOD
 - PLANT MATERIAL TO MEET CNLA STANDARDS
 - ALL MATERIALS & WORK TO BE MAINTAINED UNTIL FINAL ACCEPTANCE (MOWING TURF, WEEDING BEDS, WATERING TURF & PLANTS) AND INCLUDE 1 YEAR WARRANTY FROM DATE OF FINAL ACCEPTANCE
 - PROVIDE WATERING OF ALL PLANT MATERIAL AS REQUIRED FOR PROPER ESTABLISHMENT UNTIL END OF WARRANTY PERIOD
 - REFER TO CIVIL ENGINEER DRAWINGS FOR ELEVATIONS/GRADING
 - LANDSCAPE PLAN TO BE READ IN CONJUNCTION WITH THE GRADING, SERVICING, SITE AND SURVEY PLAN
 - BARE ROOT MATERIAL TO BE PLANTED IN SEASON ONLY
 - ALL PLANT MATERIAL LOCATIONS TO BE STAKED ON SITE BY LANDSCAPE CONTRACTOR TO BE REVIEWED BY ARCHITECT OR OWNER PRIOR TO PLANTING
 - PLANT MATERIAL ARE TO BE INSTALLED A MINIMUM OF 3.0M AWAY FROM ANY PART OF ANY HYDRO TRANSFORMER, 3.0M CORRIDOR BETWEEN A FIRE HYDRANT AND THE CURB, 2.3M RADIUS BESIDE OR BEHIND A FIRE HYDRANT, 2.0M FROM ANY SERVICING/UTILITY LINE OR STRUCTURE

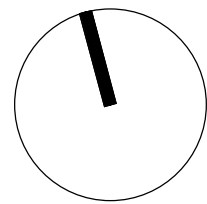
NOT FOR CONSTRUCTION



Rev. #	Date	Description
1	2025.08.07	ISSUED FOR DEVELOPMENT PERMIT

ISSUE RECORD

North Arrow



Seal

DS STUDIO INC
Architecture + Interior Design

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60-66 MOORE STREET,
CARLETON PLACE, ON

2025-21 As indicated YF LE
Project No. Drawn By Reviewed By

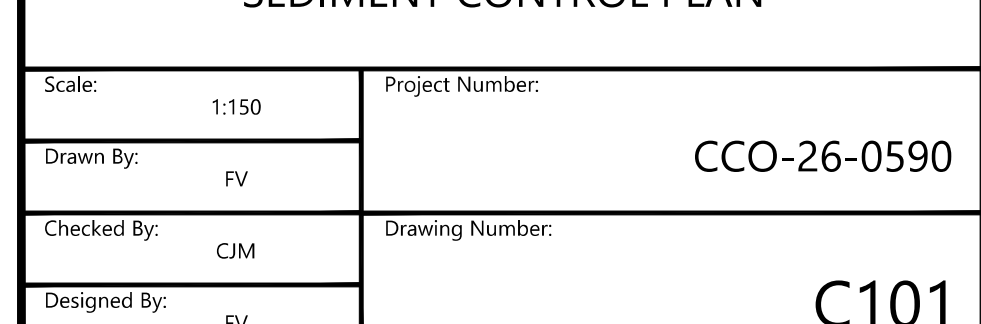
LANDSCAPE PLAN

Drawing Title

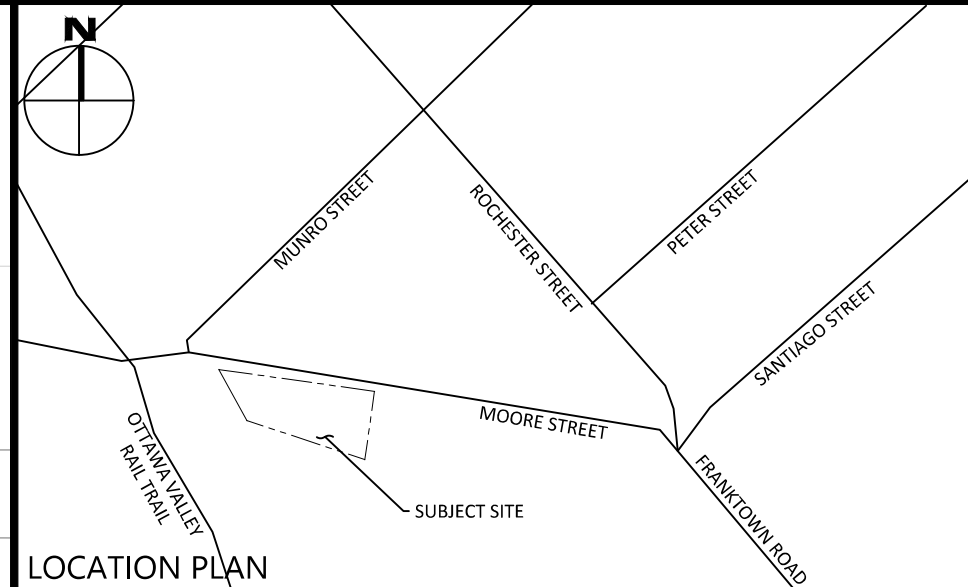
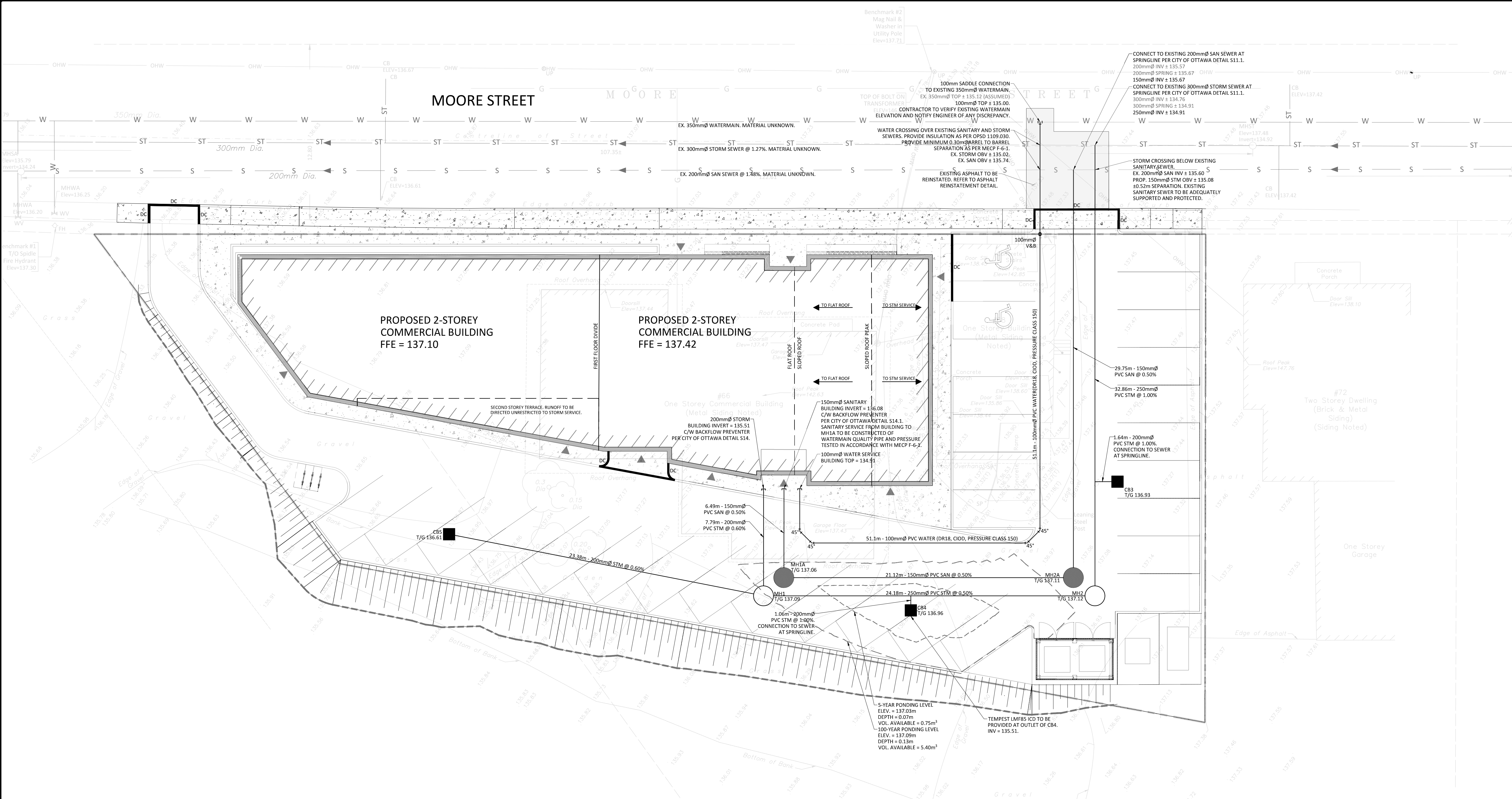
A2.00

Drawing No.

1 LANDSCAPE PLAN
A2.00 SCALE: 1" = 200'



ELIMINATE: U:\Ottawa\01 Project - Proposed\2026-06-06\CCO-26-0590\05 Studio_S\60 Moore St_CadPlan\Plan12 - Drawings\CCO-26-0590 - Preliminary.dwg
LAST MODIFIED: 2025-08-01 10:57:33 AM BY: J. VALENTI
LAST PLOTTED: 2025-08-01 10:57:33 AM BY: J. VALENTI



LEGEND	
	CONCRETE BARRIER CURB
	CONCRETE WALKWAY
	PROPOSED ASPHALT
	LANDSCAPING CATCHBASIN
	CATCHBASIN MANHOLE
	CATCHBASIN
	SANITARY SEWER MANHOLE
	FIRE HYDRANT
	WATER VALVE
	WATER METER
	REMOTE WATER METER
	LIMIT OF CONSTRUCTION
	DRAINAGE SWALE
	DRAINAGE DITCH
	SLOPING AT 3:1 UNLESS SPECIFIED
	SURFACE ELEVATION
	SWALE ELEVATION
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	OVERLAND FLOW ROUTE
	SILT FENCE BARRIER
	STRAW BALE CHECK DAM
	MUD MAT

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

1	ISSUED FOR SITE PLAN CONTROL	AUG. 01, 2025
No.	Revisions	Date
Check and verify all dimensions before proceeding with the work		
Do not scale drawings		



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Stamp:

Client: **DS STUDIO**
703 BLOOR STREET WEST, BOX 4
TORONTO, ON M6G 1L5

Project: **PROPOSED BUILDING**
60 MOORE STREET

Drawing Title: **SITE SERVICING PLAN**

Scale: 1:150	Project Number: CCO-26-0590
Drawn By: FV	Drawing Number: C102
Checked By: CJM	
Designed By: FV	

GENERAL NOTES

- THE ORIGINAL TOPOGRAPHY, GROUND ELEVATION AND SURVEY DATA SHOWN ARE SUPPLIED FOR INFORMATION PURPOSES ONLY, AND IMPLY NO GUARANTEE OF ACCURACY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL INFORMATION SHOWN.
- THIS PLAN IS NOT A CADASTRAL SURVEY SHOWING LEGAL PROPERTY BOUNDARIES AND EASEMENTS. THE PROPERTY BOUNDARIES SHOWN HEREON HAVE BEEN DERIVED FROM INFORMATION SUPPLIED BY (OR SHOWN ON) FAIRHALL, MOFFAT & WOODLAND DRAWING 1-376(CP) AND CANNOT BE RELIED UPON TO BE ACCURATE OR COMPLETE. THE PRECISE LOCATION OF THE CURRENT PROPERTY BOUNDARIES AND EASEMENTS CAN ONLY BE DETERMINED BY AN UP-TO-DATE LAND TITLE SEARCH AND A SUBSEQUENT CADASTRAL SURVEY PERFORMED AND CERTIFIED BY AN ONTARIO LAND SURVEYOR.
- THE CONTRACTOR IS TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN BEFORE COMMENCING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT.
- THE CONTRACTOR IS TO DETERMINE THE EXACT LOCATION, SIZE, MATERIAL AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. PROTECT AND ASSUME ALL RESPONSIBILITY FOR EXISTING UTILITIES WHETHER OR NOT SHOWN ON THESE DRAWINGS. IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE ENGINEER PROMPTLY.
- RESTORE ALL TRENCHES AND SURFACES OF PUBLIC ROAD ALLOWANCES TO CONDITION EQUAL OR BETTER THAN ORIGINAL CONDITION AND TO THE SATISFACTION OF THE TOWN AUTHORITIES.
- EXCAVATE AND DISPOSE OF ALL EXCESS EXCAVATED MATERIAL, SUCH AS ASPHALT, CURBING AND DEBRIS, OFF SITE AS DIRECTED BY THE ENGINEER AND THE TOWN.
- TOPSOIL TO BE STRIPPED AND STOCKPILED FOR REHABILITATION. CLEAN FILL TO BE PLACED IN FILL AREAS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING THE SUPPLY, INSTALLATION, AND REMOVAL OF ALL NECESSARY SIGNAGE, DELINEATORS, MARKERS AND BARRIERS.
- DO NOT ALTER GRADING OF THE SITE WITHOUT PRIOR APPROVAL OF THE ENGINEER/TOWN.
- ALL ROADWAY, PARKING LOT, AND GRADING WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH TOWN STANDARDS AND SPECIFICATIONS. THE CONTRACTOR IS TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
- CONTACT THE TOWN FOR INSPECTION OF ROUGH GRADING OF PARKING LOTS, ROADWAYS AND LANDSCAPED AREAS PRIOR TO PLACEMENT OF ASPHALT AND TOPSOIL. ALL DEFICIENCIES NOTED SHALL BE RECTIFIED TO THE TOWN'S SATISFACTION PRIOR TO PLACEMENT OF ANY ASPHALT, TOPSOIL, SEED & MULCH AND/OR SOD.
- ALL DIMENSIONS AND INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION, IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE ENGINEER PROMPTLY.
- ELECTRICAL, GAS, TELEPHONE AND TELEVISION SERVICE LOCATIONS ARE SUBJECT TO THE INDIVIDUAL AGENCY:
 - ELECTRICAL SERVICE - HYDRO ONE,
 - GAS SERVICE - ENBRIDGE,
 - TELEPHONE SERVICE - BELL CANADA,
 - TELEVISION SERVICE - ROGERS.
- INSTALLATION TO BE IN ACCORDANCE WITH CURRENT CODES AND STANDARDS OF APPROVAL AGENCIES HYDRO ONE, BELL AND THE TOWN.
- CONTRACTOR TO ENSURE ALL APPLICABLE OPS SPECIFICATIONS ARE FOLLOWED DURING CONSTRUCTION
- ALL PROPOSED CURB TO BE CONCRETE BARRIER CURB UNLESS OTHERWISE SPECIFIED.
- THIS PLAN MUST BE READ IN CONJUNCTION WITH THE GEOTECHNICAL INVESTIGATION COMPLETED BY EGIS CANADA LTD

WATERMAIN NOTES

- CONSTRUCT ALL WATERMANS AND APPURTENANCES IN ACCORDANCE WITH OPSD STANDARDS AND SPECIFICATIONS, AS WELL AS TOWN STANDARDS.
- WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 2.4m. OTHERWISE THERMAL INSULATION IS REQUIRED AS PER TOWN STANDARDS (IF AVAILABLE) OR OPSD 1109.030.
- WATERMANS AND/OR WATER SERVICES SHALL HAVE A MINIMUM COVER OF 1.8m UNDER DITCH CROSSINGS, OTHERWISE THERMAL INSULATION IS TO BE PROVIDED PER OPSD 1109.030.
- IF THE WATERMAIN MUST BE DEFLECTED TO MEET ALIGNMENT, ENSURE THAT THE AMOUNT OF DEFLECTION USED IS EQUAL TO OR LESS THAN THAT WHICH IS RECOMMENDED BY THE MANUFACTURER.
- THERMAL INSULATION OF WATERMANS AT OPEN STRUCTURES AS PER TOWN STANDARDS (IF AVAILABLE) OR OPSD 1109.030.
- VALVES TO BE OPERATED BY TOWN STAFF ONLY.
- NO CONNECTION TO EXISTING WATER NETWORK SHALL BE COMPLETED UNTIL A WATER PERMIT IS OBTAINED FROM THE TOWN. TOWN TO BE PRESENT FOR WATERMAIN CONNECTION, CONNECTION, EXCAVATION, BACKFILLING AND REINSTATEMENT TO BE COMPLETED BY CONTRACTOR.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ANY WATERMAIN CONNECTION(S) REQUIRED. THIS SHALL BE COMPLETED IN THE PRESENCE OF A DESIGNATED MUNICIPAL WATER OPERATOR AND THE SELECTED CONTRACTOR SHALL PROVE TO THE SATISFACTION OF THE TOWN THAT THEY ARE COMPETENT TO PERFORM THE WORKS PRIOR TO INITIATING CONSTRUCTION.
- ALL WATERMANS SHALL BE EQUIPPED WITH BUTTERFLY AND GATE VALVES AS PER OPSD 1100.011.
- ALL FIRE HYDRANTS, VALVE AND VALVE BOX SHALL CONFORM TO OPSD 1103.020.
- CONCRETE THRUST BLOCKS TO CONFORM TO OPSD 1103.010 AND OPSD 1103.020.
- ALL WATERMAIN TO BE CLASS 150 DR-18 OR APPROVED EQUIVALENT.
- ALL WATERMAIN TO BE EQUIPPED WITH TRACER WIRE.

SEWER NOTES:

- CONSTRUCT ALL SEWERS, CATCH BASINS, MANHOLES AND APPURTENANCES IN ACCORDANCE WITH OPSD STANDARDS AND SPECIFICATIONS, AS WELL AS TOWN STANDARDS.
- SEWER TRENCHING AND BEDDING SHALL CONFORM TO OPSD 802.010 AND 802.013 UNLESS NOTED OTHERWISE.
 - BEDDING SHALL BE A MINIMUM 150mm OF GRANULAR "A", COMPACTED TO MINIMUM 95% STANDARD PROCTOR DRY DENSITY. CLEAR STONE BEDDING SHALL NOT BE PERMITTED.
 - SUB-BEDDING, IF REQUIRED SHALL CONSIST OF 450mm OF COMPACTED GRANULAR "B" TYPE 1.
 - BACKFILL TO AT LEAST 300mm ABOVE TOP OF PIPE WITH GRANULAR "A" OR GRANULAR "B" TYPE 1.
 - TO MINIMIZE DIFFERENTIAL FROST HEAVING, TRENCH BACKFILL (FROM PAVEMENT SUBGRADE TO 2.0 METRES BELOW FINISHED GRADE) SHALL MATCH EXISTING SOIL CONDITIONS.
- SANITARY SEWERS AND CONNECTIONS 150mmØ AND SMALLER TO BE PVC SDR-35.
- SEWERS AND CONNECTIONS 200mmØ AND LARGER TO BE PVC SDR-35. BEDDING TO BE TYPE "B" EXCEPT AT RISERS, UNLESS NOTED OTHERWISE.
- INSULATE ALL STORM AND SANITARY SEWERS/SERVICES THAT HAVE LESS THAN 1.5m OF COVER WITH THERMAL INSULATION AS PER OPSD 1109.030.
- SEWER CONNECTIONS ARE TO BE MADE ABOVE THE SPRINGLINE OF THE SEWERMAIN AS PER CITY OF OTTAWA STANDARD DRAWING S11, S11.1 & S11.2.
- SUPPLY AND INSTALL ALL PIPING AND APPURTENANCES AS SHOWN AND DETAILED TO WITHIN 1.0m OF BUILDING. ALL ENDS OF SERVICES TO BE PROPERLY CAPPED AND LOCATED WITH 2"x4"X8" LONG MARKER.
- CONTRACTOR TO TELEPHONE (CCTV) ALL PROPOSED SEWERS ON SITE, OUTLET CONNECTION TO THE MAIN AND PIPES 150mmØ OR GREATER PRIOR TO BASE COURSE ASPHALT. UPON COMPLETION OF CONTRACT, THE CONTRACTOR IS RESPONSIBLE TO FLUSH AND CLEAN ALL SEWERS & APPURTENANCES.
- DYE TESTING IS TO BE COMPLETED ON SANITARY SERVICE TO CONFIRM PROPER CONNECTION TO SANITARY SEWER MAIN.

SAN STRUCTURE TABLE				
NAME	RIM ELEV.	INVERT IN	INVERT OUT	DESCRIPTION
MH1A	137.06	N136.050	E135.986	COVER TYPE A FRAME OPSD 401.010 STRUCT. OPSD 701.010
MH2A	137.11	W135.880	N135.819	COVER TYPE A FRAME OPSD 401.010 STRUCT. OPSD 701.010

STM STRUCTURE TABLE				
NAME	RIM ELEV.	INVERT IN	INVERT OUT	DESCRIPTION
CB3	136.93		W135.306	COVER OPSD 400.020 FRAME OPSD 400.020 STRUCT. OPSD 705.010
CB4	136.96		N135.511	COVER OPSD 400.020 FRAME OPSD 400.020 STRUCT. OPSD 705.010 C/W TEMPEST LMF85 ICD
CB5	136.61		E135.590	COVER OPSD 400.020 FRAME OPSD 400.020 STRUCT. OPSD 705.010
MH1	137.09	N135.460 W135.450	E135.421	COVER TYPE A FRAME OPSD 401.010 STRUCT. OPSD 701.010
MH2	137.12	W135.300	N135.243	COVER TYPE A FRAME OPSD 401.010 STRUCT. OPSD 701.010

