

2,098 m²

1283 m²

81.11 m

30 + 2 INTERIOR = 32

2 BF SPACE

NO MIN. OR ALIGNED TO NEIGHBOURING 1.5 m

No MIN. OR ESTABLISHED BLDG LINE

3.0m MIN @ RESIDENTIAL LOT

 $50\% (1/20\text{m}^2 \text{ of GFA}) = 32$

4% OF VEHICLE PARKING = 2

4% OF VEHICLE PARKING = 2

BUILDING AREA 250 > 1000 = 1

PROPERTIES

MINIMUM LOT AREA

BUILDING FOOTPRINT AREA

BUILDING GROSS AREA

MAXIMUM LOT COVERAGE

MINIMUM LOT WIDTH

EXTERIOR SIDE YARD

INTERIOR SIDE YARD

MAXIMUM BUILDING HEIGHT

BARRIER FREE PARKING

BICYCLE PARKING LOADING SPACES

LANDSCAPED SPACE IN REAR YARD

FRONT YARD

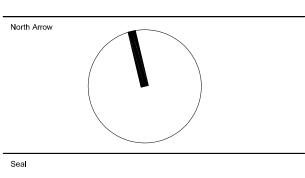
REAR YARD

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REVISION RECORD

2025-08-07 **ISSUED FOR DEVELOPMENT PERMIT** ISSUE RECORD



DS STUDIO

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60-66 MOORE ST, CARLETON PLACE K7C 2R2

MISSISSIPPI TRANSITIONAL SECTOR

684 m²

CIVIL ADDRESS

ZONING NOTES

BUILDING AREA

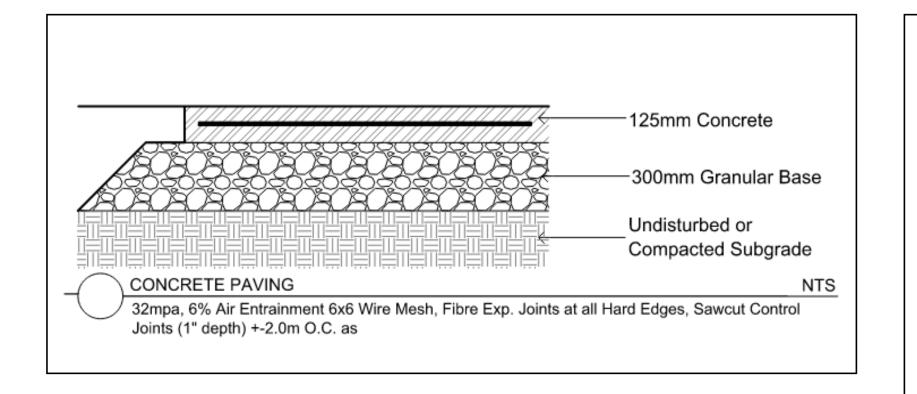
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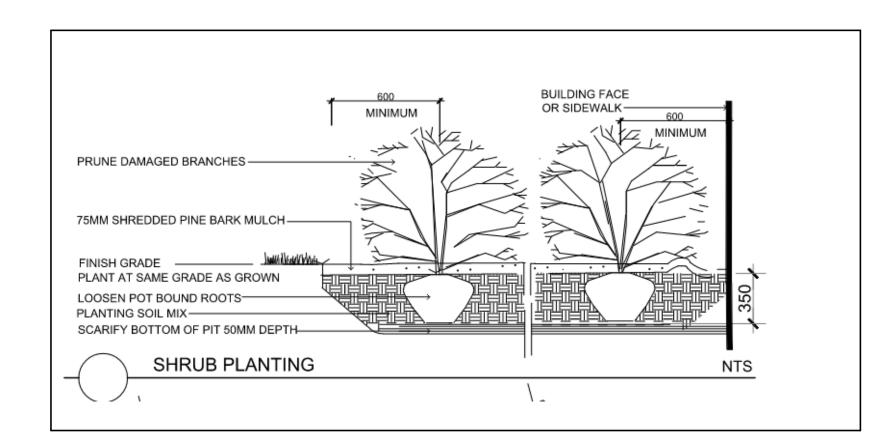
60-66 MOORE ST CARLETON PLACE / ONTARIO

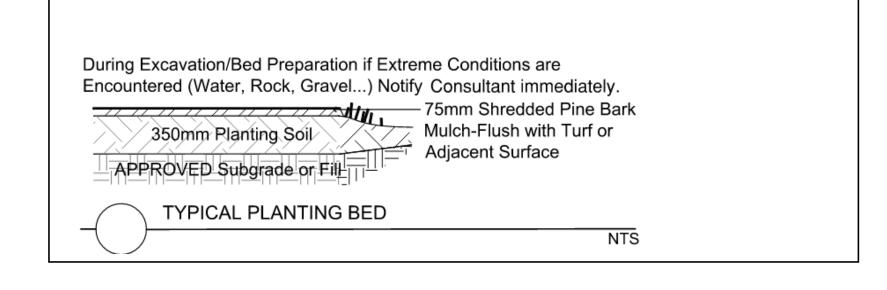
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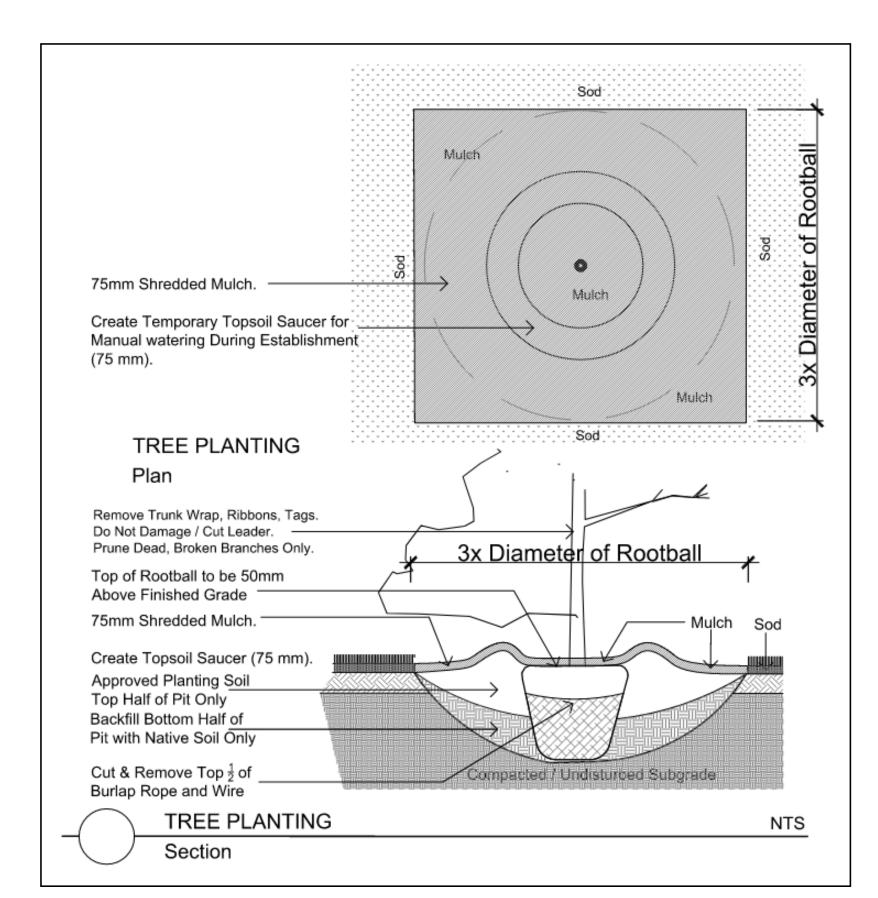
SITE PLAN

A1.00









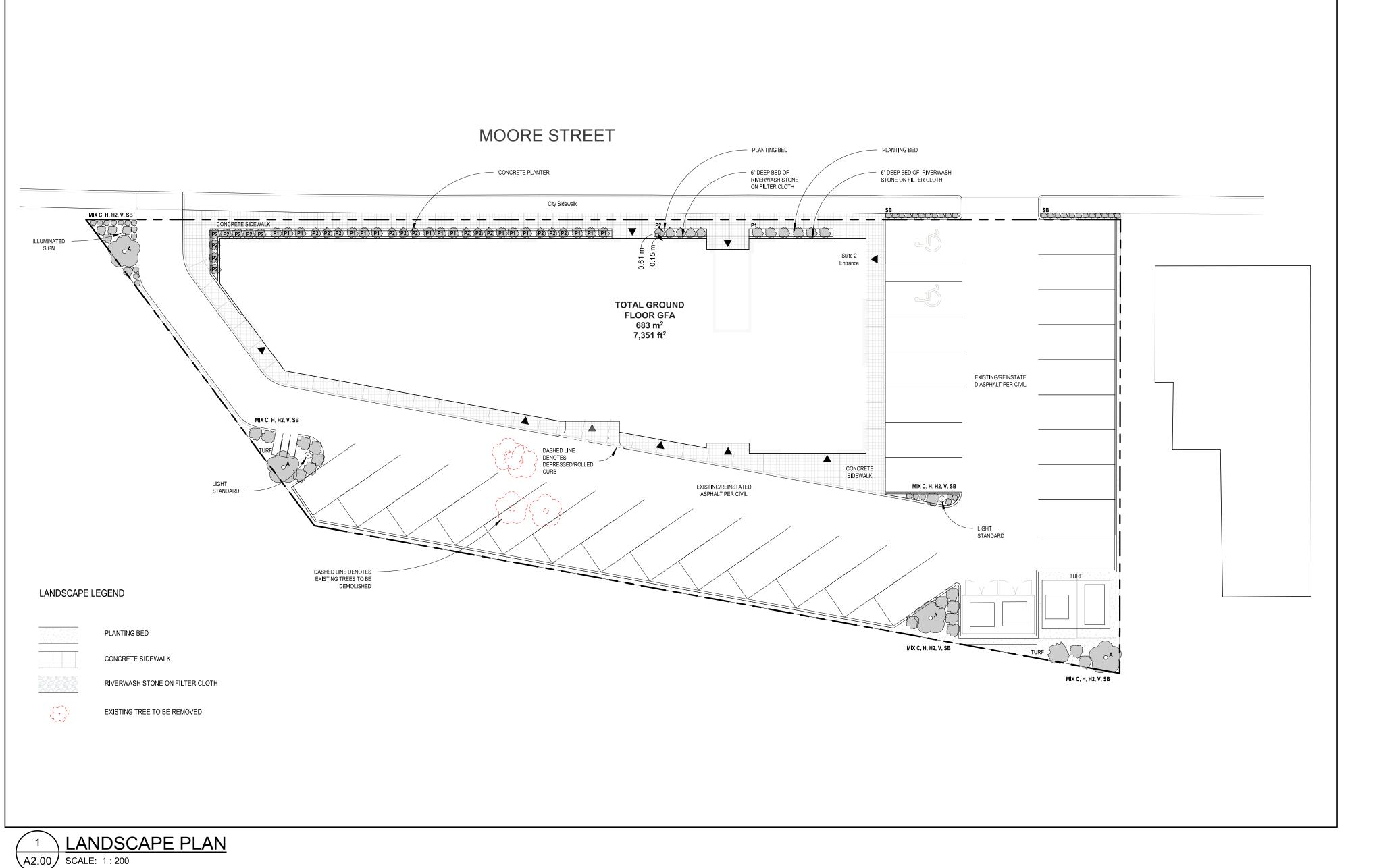
Α				
	AMELANCHIER CANADENSIS	SERVICEBERRY	100CM HT.	POT
SHRUBS / G	GROUNDCOVER			
CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
С	CORNUS RACEMOSA	GREY DOGWOOD	100CM HT.	POT
н	HYPERICUM KALMIANUM	ST. JOHN'S WORT	30CM HT.	POT
H2	HYPERICUM PROLIFICUM	SHRUBBY ST. JOHN'S WORT	40CM HT.	POT
v	VIBURNUM LENTAGO	NANNYBERRY	100CM HT.	POT
SB	ILEX CRENATA	SKY BOX JAPANESE HOLLY		
PLANTS				
CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
P1	CALAMAGROSTIS ACUTIFULIA 'OVERDAM'	FEATHER REED GRASS	9CM POT	POT
P2	IMPERATA CYLINDRICAL 'RED BARON'	JAPANESE BLOOD GRASS	9CM POT	POT

LANDSCAPE GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF SITE LOCATIONS OF ALL UTILITIES. REPORT ANY DISCREPANCIES BETWEEN SITE AND DRAWING IMMEDIATELY TO ARCHITECT. DO NOT PROCEED UNTIL CLARIFIED.
- TURF AREAS TO BE SOD C/W 150MM DEPTH TOPSOIL ON APPROVED SUBGRADE. SOD TO BE #1 GRADE TURFGRASS NURSERY SOD per NSGA FINE FESCUE/KENTUCKY
- PLANT MATERIAL TO MEET CNLA STANDARDS

BLUEGRASS SOD

- ALL MATERIALS & WORK TO BE MAINTAINED UNTIL FINAL ACCEPTANCE (MOWING TURF, WEEDING BEDS, WATERING TURF & PLANTS) AND INCLUDE 1 YEAR WARRANTY FROM DATE OF FINAL ACCEPTANCE
- PROVIDE WATERING OF ALL PLANT MATERIAL AS REQUIRED FOR PROPER ESTABLISHMENT UNTIL END OF WARRANTY
- REFER TO CIVIL ENGINEER DRAWINGS FOR ELEVATIONS/GRADING
- LANDSCAPE PLAN TO BE READ IN CONJUNCTION WITH THE
 CRADING SED WINE SITE AND SUBVEY BLAN
- GRADING, SERVICING, SITE AND SURVEY PLAN
- BARE ROOT MATERIAL TO BE PLANTED IN SEASON ONLY
- ALL PLANT MATERIAL LOCATIONS TO BE STAKED ON SITE BY LANDSCAPE CONTRACTOR TO BE REVIEWED BY ARCHITECT OR OWNER PRIOR TO PLANTING
- PLANT MATERIAL ARE TO BE INSTALLED A MINIMUM OF; 3.0M
 AWAY FROM ANY PART OF ANY HYDRO TRANSFORMER, 3.0M
 CORRIDOR BETWEEN A FIRE HYDRANT AND THE CURB; 2.5M
 RADIUS BESIDE OR BEHIND A FIRE HYDRANT, 2.0M FROM ANY
 SERVICING/UTILITY LINE OR STRUCTURE



1 2025.08.07 ISSUED FOR DEVELOPMENT PERMIT

Rev. # Date Description

ISSUE RECORD

North Arrow

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Architecture + Interior Design

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60-66 MOORE STREET, CARLETON PLACE, ON

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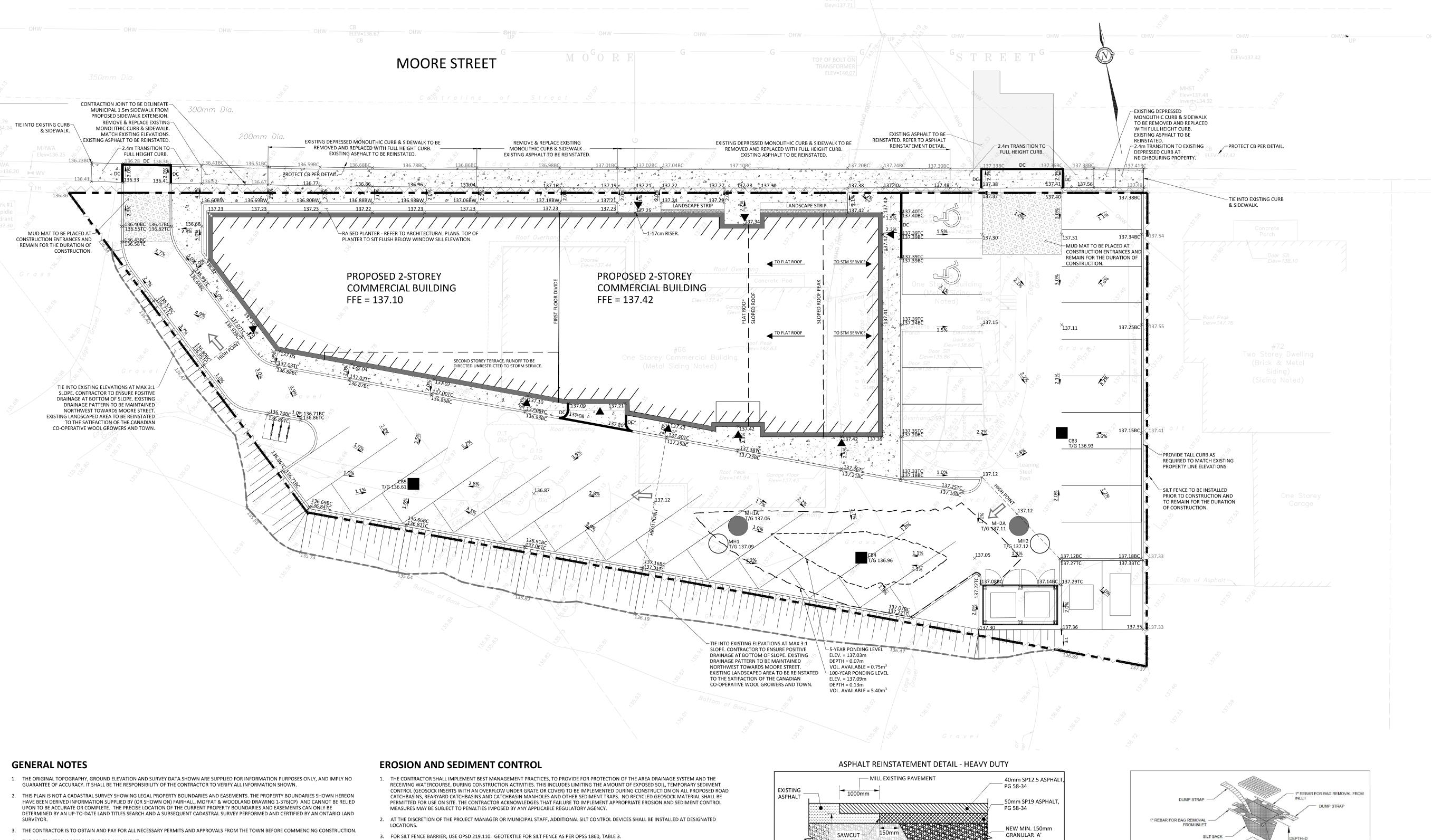
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Scale Drawn By Re

LANDSCAPE PLAN

Drawing Title

A2.00



- 4. THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT.
- 5. THE CONTRACTOR IS TO DETERMINE THE EXACT LOCATION, SIZE, MATERIAL AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. PROTECT AND ASSUME ALL RESPONSIBILITY FOR EXISTING UTILITIES WHETHER OR NOT SHOWN ON THESE DRAWINGS. IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE ENGINEER PROMPTLY.
- 6. RESTORE ALL TRENCHES AND SURFACES OF PUBLIC ROAD ALLOWANCES TO CONDITION EQUAL OR BETTER THAN ORIGINAL CONDITION AND TO THE SATISFACTION OF THE TOWN AUTHORITIES.
- 7. EXCAVATE AND DISPOSE OF ALL EXCESS EXCAVATED MATERIAL, SUCH AS ASPHALT, CURBING AND DEBRIS, OFF SITE AS DIRECTED BY THE ENGINEER
- 8. TOPSOIL TO BE STRIPPED AND STOCKPILED FOR REHABILITATION. CLEAN FILL TO BE PLACED IN FILL AREAS AND COMPACTED TO 95% STANDARD
- PROCTOR DENSITY. 9. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING THE SUPPLY, INSTALLATION, AND REMOVAL OF ALL NECESSARY SIGNAGE, DELINEATORS, MARKERS AND BARRIERS.
- 11. DO NOT ALTER GRADING OF THE SITE WITHOUT PRIOR APPROVAL OF THE ENGINEER/TOWN. 12. ALL ROADWAY, PARKING LOT, AND GRADING WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH TOWN STANDARDS AND SPECIFICATIONS. THE
- 13. CONTACT THE TOWN FOR INSPECTION OF ROUGH GRADING OF PARKING LOTS, ROADWAYS AND LANDSCAPED AREAS PRIOR TO PLACEMENT OF
- ASPHALT AND TOPSOIL. ALL DEFICIENCIES NOTED SHALL BE RECTIFIED TO THE TOWN'S SATISFACTION PRIOR TO PLACEMENT OF ANY ASPHALT, TOPSOIL, SEED & MULCH AND/OR SOD.
- 14. ALL DIMENSIONS AND INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION, IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE
- 15. ELECTRICAL, GAS, TELEPHONE AND TELEVISION SERVICE LOCATIONS ARE SUBJECT TO THE INDIVIDUAL AGENCY: • ELECTRICAL SERVICE - HYDRO ONE,
 - GAS SERVICE ENBRIDGE • TELEPHONE SERVICE - BELL CANADA, TELEVISION SERVICE - ROGERS.
- 16. INSTALLATION TO BE IN ACCORDANCE WITH CURRENT CODES AND STANDARDS OF APPROVAL AGENCIES HYDRO ONE, BELL AND THE TOWN.
- 17. CONTRACTOR TO ENSURE ALL APPLICABLE OPS SPECIFICATIONS ARE FOLLOWED DURING CONSTRUCTION
- 18. ALL PROPOSED CURB TO BE CONCRETE BARRIER CURB UNLESS OTHERWISE SPECIFIED. 19. THIS PLAN MUST BE READ IN CONJUNCTION WITH THE GEOTECHNICAL INVESTIGATION COMPLETED BY EGIS CANADA LTD

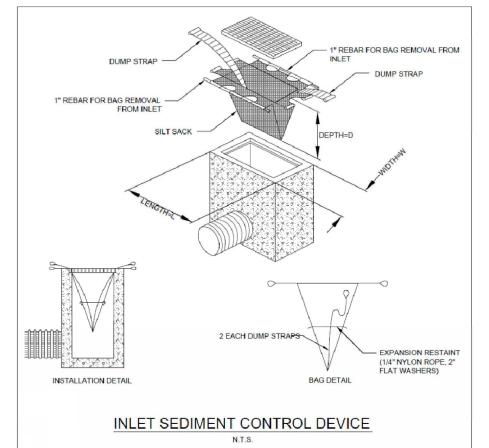
- 4. EXCEPT AS PROVIDED IN PARAGRAPHS 4.1., and 4.2. BELOW, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS FEASIBLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED.
- 4.1. WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS FEASIBLE. 4.2. WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 21 DAYS FROM WHEN ACTIVITIES CEASED, (E.G. THE TOTAL TIME
- PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 21 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF SITE BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED. 5. SEDIMENT THAT IS ACCUMULATED BY THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED IN A MANNER THAT AVOIDS
- ESCAPE OF THE SEDIMENT TO THE DOWNSTREAM SIDE OF THE CONTROL MEASURE AND AVOIDS DAMAGE TO THE CONTROL MEASURE. SEDIMENT SHALL BE REMOVED TO THE LEVEL OF THE GRADE EXISTING AT THE TIME THE CONTROL MEASURE WAS CONSTRUCTED AND BE ACCORDING TO THE FOLLOWING: FOR LIGHT-DUTY SEDIMENT BARRIERS, ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE IT REACHES THE LESSER OF THE FOLLOWING: A DEPTH OF ONE-HALF THE EFFECTIVE HEIGHT OF THE CONTROL MEASURE.

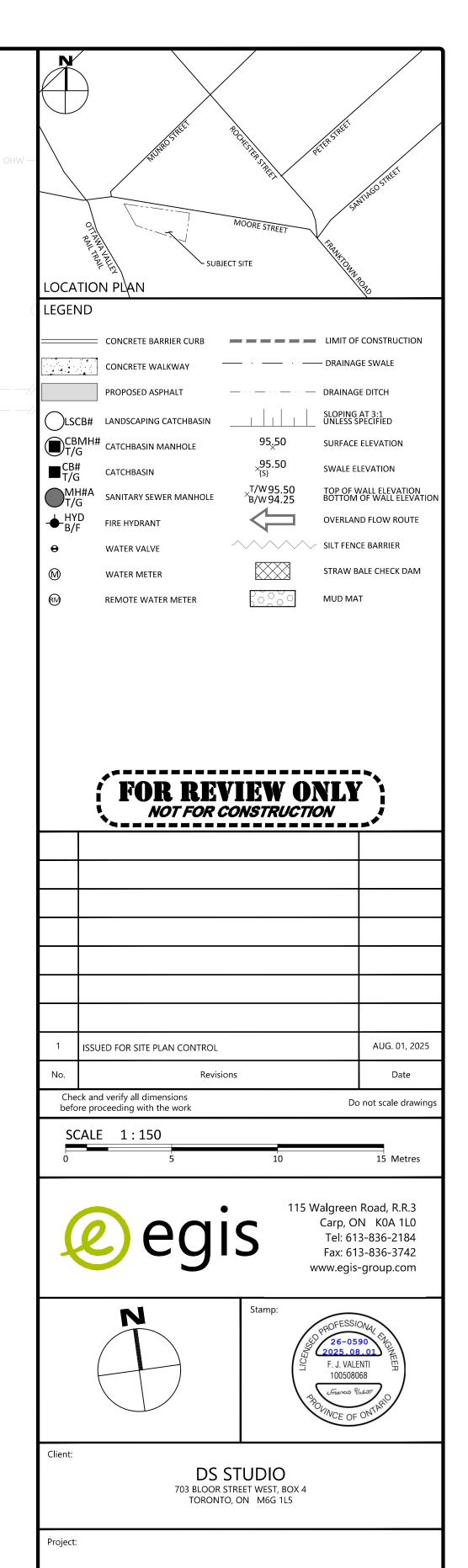
 A DEPTH OF 300 MM IMMEDIATELY UPSTREAM OF THE CONTROL MEASURE.
- FOR ALL CONTROL MEASURES, ACCUMULATED SEDIMENT SHALL BE REMOVED AS NECESSARY TO PERFORM MAINTENANCE REPAIRS. ACCUMULATED SEDIMENT SHALL BE REMOVED PRIOR TO THE REMOVAL OF THE CONTROL MEASURE.
- 6. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MONITORED TO ENSURE THEY ARE IN EFFECTIVE WORKING ORDER. THE CONDITION OF THE CONTROL MEASURES SHALL BE MONITORED PRIOR TO ANY FORECAST STORM EVENT AND FOLLOWING A STORM EVENT.
- 7. DUST CONTROL MEASURES SHOULD BE CONSIDERED PRIOR TO CLEARING AND GRADING. THE USE OF WATER, CALCIUM CHLORIDE FLAKES/SOLUTION OR MAGNESIUM CHLORIDE FLAKES/SOLUTION SHALL BE USED AS DUST SUPPRESSANTS AS PER OPSS 506. THIS IS TO LIMIT WIND EROSION OF SOILS WHICH MAY TRANSPORT SEDIMENTS OFFSITE, WHERE THEY MAY BE WASHED INTO THE RECEIVING WATER BY THE NEXT RAINSTORM.
- 8. ALL 'GREEN AREAS' TO BE TREATED WITH 150mm TOPSOIL AND SOD AS SOON AS FEASIBLE, AS PER OPSS 570.
- 9. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
- 10. STOCKPILED MATERIAL IS TO BE STORED AWAY FROM POTENTIAL RECEIVERS (E.G. STORM CATCHBASINS, MANHOLES), AND BE SURROUNDED BY EROSION CONTROL MEASURES WHERE MATERIAL IS LEFT IN PLACE IN EXCESS OF 14 DAYS.
- 11. IF REQUIRED, DEWATERING/SETTLING BASINS SHALL BE CONSTRUCTED AS PER OPSD 219.240 AND LOCATED ON FLAT GRADE UPSTREAM OF OTHER EXISTING MITIGATION MEASURES. WATERCOURSES SHALL NOT BE DIVERTED, OR BLOCKED, AND TEMPORARY WATERCOURSES CROSSINGS SHALL NOT BE CONSTRUCTED OR UTILIZED, UNLESS OTHERWISE SPECIFIED IN THE CONTRACT. IF CLOSURE OF ANY PERMANENT WATER PASSAGE IS NECESSARY, THE CONTRACTOR SHALL RELEASE ANY STRANDED FISH TO THE OPEN PORTION OF THE WATERCOURSE WITHOUT HARM.
- 12. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO OPSS 577
- 13. WHERE DEWATERING IS REQUIRED, THE DISCHARGED WATER SHALL BE CONTROLLED IN ACCORDANCE WITH OPSS 518.
- 14. ALL SETTLING/FILTRATION BASINS SHALL BE EQUIPPED WITH TERRAFIX 270R GEOTEXTILE (OR APPROVED EQUIVALENT) AND SHALL BE CLEANED AND REPLACED AS REQUIRED.

NEW MIN. 450mm GRANULAR 'B' FXISTING ² LIMIT OF EXCAVATION

GRANULAR BASE

PAVEMENT STRUCTURE 60mm SUPERPAVE 12. GRAN "B' GRAN "B" LIGHT DUTY PAVEMENT **HEAVY DUTY PAVEMENT** CROSS-SECTION CROSS-SECTION ASPHALT CROSS-SECTIONS TO CONFORM TO GEOTECHNICAL REPORT COMPLETED BY EGIS CANADA LTD.

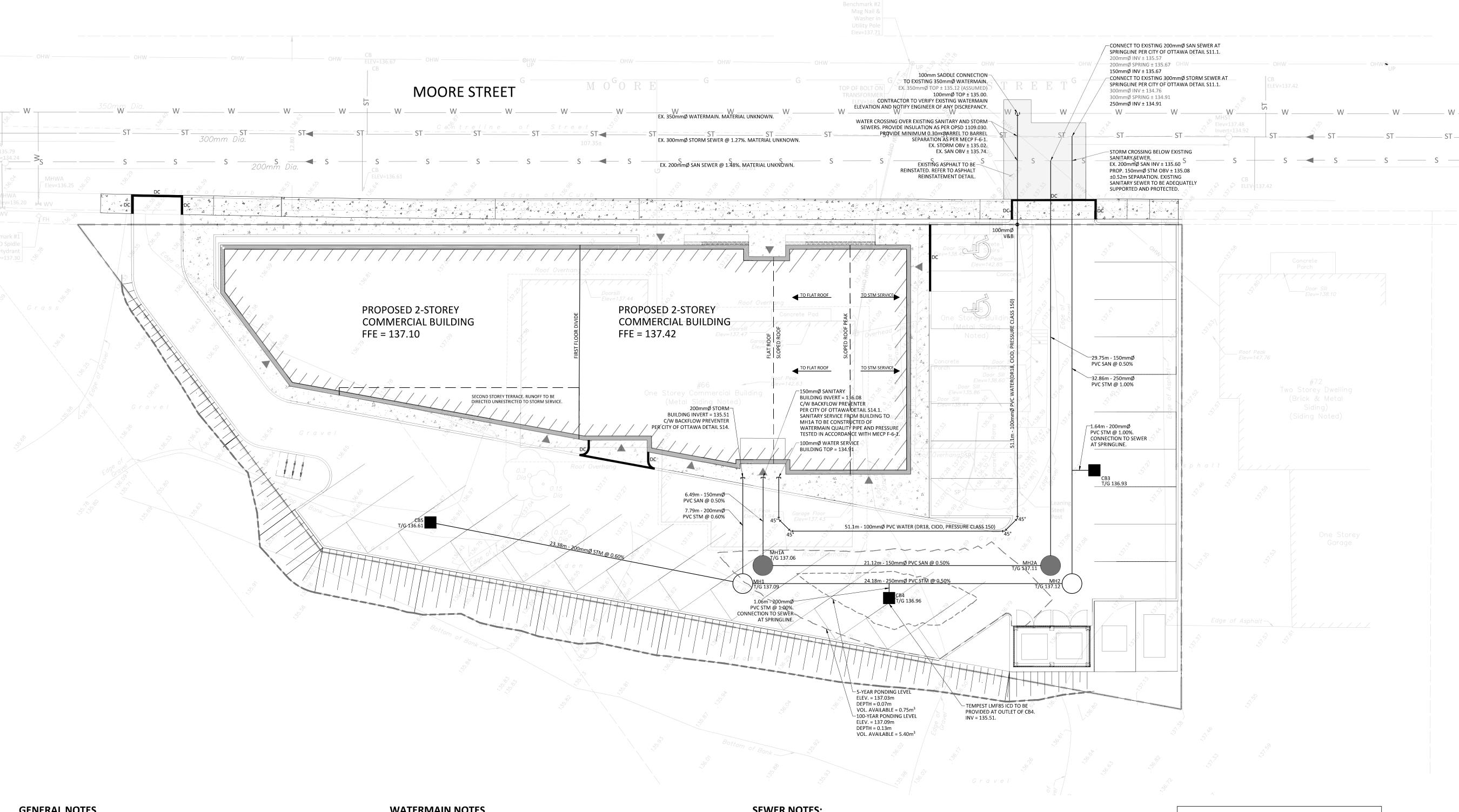




PROPOSED BUILDING

LOT GRADING, DRAINAGE, EROSION & SEDIMENT CONTROL PLAN

S	cale: 1:150	Project Number:
	Prawn By: FV	CCO-26-0590
C	hecked By: CJM	Drawing Number:
D	Designed By: FV	C101



GENERAL NOTES

- 1. THE ORIGINAL TOPOGRAPHY, GROUND ELEVATION AND SURVEY DATA SHOWN ARE SUPPLIED FOR INFORMATION PURPOSES ONLY, AND IMPLY NO GUARANTEE OF ACCURACY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL INFORMATION SHOWN.
- THIS PLAN IS NOT A CADASTRAL SURVEY SHOWING LEGAL PROPERTY BOUNDARIES AND EASEMENTS. THE PROPERTY BOUNDARIES SHOWN HEREON HAVE BEEN DERIVED INFORMATION SUPPLIED BY (OR SHOWN ON) FAIRHALL, MOFFAT & WOODLAND DRAWING 1-376(CP) AND CANNOT BE RELIED UPON TO BE ACCURATE OR COMPLETE. THE PRECISE LOCATION OF THE CURRENT PROPERTY BOUNDARIES AND EASEMENTS CAN ONLY BE DETERMINED BY AN UP-TO-DATE LAND TITLES SEARCH AND A SUBSEQUENT CADASTRAL SURVEY PERFORMED AND CERTIFIED BY AN ONTARIO LAND
- 3. THE CONTRACTOR IS TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN BEFORE COMMENCING CONSTRUCTION.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT.
- 5. THE CONTRACTOR IS TO DETERMINE THE EXACT LOCATION, SIZE, MATERIAL AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. PROTECT AND ASSUME ALL RESPONSIBILITY FOR EXISTING UTILITIES WHETHER OR NOT SHOWN ON THESE DRAWINGS. IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE ENGINEER PROMPTLY.
- 6. RESTORE ALL TRENCHES AND SURFACES OF PUBLIC ROAD ALLOWANCES TO CONDITION EQUAL OR BETTER THAN ORIGINAL CONDITION AND TO THE SATISFACTION OF THE TOWN AUTHORITIES.
- 7. EXCAVATE AND DISPOSE OF ALL EXCESS EXCAVATED MATERIAL, SUCH AS ASPHALT, CURBING AND DEBRIS, OFF SITE AS DIRECTED BY THE ENGINEER
- 8. TOPSOIL TO BE STRIPPED AND STOCKPILED FOR REHABILITATION. CLEAN FILL TO BE PLACED IN FILL AREAS AND COMPACTED TO 95% STANDARD
- 9. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED. 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING THE
- SUPPLY, INSTALLATION, AND REMOVAL OF ALL NECESSARY SIGNAGE, DELINEATORS, MARKERS AND BARRIERS. 11. DO NOT ALTER GRADING OF THE SITE WITHOUT PRIOR APPROVAL OF THE ENGINEER/TOWN.
- 12. ALL ROADWAY, PARKING LOT, AND GRADING WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH TOWN STANDARDS AND SPECIFICATIONS. THE
- 13. CONTACT THE TOWN FOR INSPECTION OF ROUGH GRADING OF PARKING LOTS, ROADWAYS AND LANDSCAPED AREAS PRIOR TO PLACEMENT OF ASPHALT AND TOPSOIL. ALL DEFICIENCIES NOTED SHALL BE RECTIFIED TO THE TOWN'S SATISFACTION PRIOR TO PLACEMENT OF ANY ASPHALT,
- TOPSOIL, SEED & MULCH AND/OR SOD. 14. ALL DIMENSIONS AND INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION, IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE
- 15. ELECTRICAL, GAS, TELEPHONE AND TELEVISION SERVICE LOCATIONS ARE SUBJECT TO THE INDIVIDUAL AGENCY: • ELECTRICAL SERVICE - HYDRO ONE,

GAS SERVICE - ENBRIDGE. • TELEPHONE SERVICE - BELL CANADA, TELEVISION SERVICE - ROGERS.

- 16. INSTALLATION TO BE IN ACCORDANCE WITH CURRENT CODES AND STANDARDS OF APPROVAL AGENCIES HYDRO ONE, BELL AND THE TOWN.
- 17. CONTRACTOR TO ENSURE ALL APPLICABLE OPS SPECIFICATIONS ARE FOLLOWED DURING CONSTRUCTION
- 18. ALL PROPOSED CURB TO BE CONCRETE BARRIER CURB UNLESS OTHERWISE SPECIFIED. 19. THIS PLAN MUST BE READ IN CONJUNCTION WITH THE GEOTECHNICAL INVESTIGATION COMPLETED BY EGIS CANADA LTD

WATERMAIN NOTES

- 1. CONSTRUCT ALL WATERMAINS AND APPURTENANCES IN ACCORDANCE WITH OPSD STANDARDS AND SPECIFICATIONS, AS WELL AS TOWN
- . WATERMAINS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 2.4m. OTHERWISE THERMAL INSULATION IS REQUIRED AS PER TOWN STANDARDS (IF AVAILABLE) OR OPSD 1109.030.
- . WATERMAINS AND/OR WATER SERVICES SHALL HAVE A MINIMUM COVER OF 1.8m UNDER DITCH CROSSINGS, OTHERWISE THERMAL INSULATION IS
- 4. IF THE WATERMAIN MUST BE DEFLECTED TO MEET ALIGNMENT, ENSURE THAT THE AMOUNT OF DEFLECTION USED IS EQUAL TO OR LESS THAN
- THAT WHICH IS RECOMMENDED BY THE MANUFACTURER.
- 5. THERMAL INSULATION OF WATERMAINS AT OPEN STRUCTURES AS PER TOWN STANDARDS (IF AVAILABLE) OR OPSD 1109.030.
- 6. VALVES TO BE OPERATED BY TOWN STAFF ONLY.
- 7. NO CONNECTION TO EXISTING WATER NETWORK SHALL BE COMPLETED UNTIL A WATER PERMIT IS OBTAINED FROM THE TOWN. TOWN TO BE PRESENT FOR WATERMAIN CONNECTION. CONNECTION, EXCAVATION, BACKFILLING AND REINSTATEMENT TO BE COMPLETED BY CONTRACTOR.
- 8. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ANY WATERMAIN CONNECTION(S) REQUIRED. THIS SHALL BE COMPLETED IN THE PRESENCE OF A DESIGNATED MUNICIPAL WATER OPERATOR AND THE SELECTED CONTRACTOR SHALL PROVE TO THE SATISFACTION OF THE TOWN THAT THEY ARE COMPETENT TO PERFORM THE WORKS PRIOR TO INITIATING CONSTRUCTION.
- 9. ALL WATERMAINS SHALL BE EQUIPPED WITH BUTTERFLY AND GATE VALVES AS PER OPSD 1100.011. 10. ALL FIRE HYDRANTS, VALVE AND VALVE BOX HSALL CONFORM TO OPSD 1103.020.
- 11. CONCRETE THRUST BLOCKS TO CONFORM TO OPSD 1103.010 AND OPSD 1103.020.
- 12. ALL WATERMAIN TO BE CLASS 150 DR-18 OR APPROVED EQUIVALENT.
- 13. ALL WATERMAIN TO BE EQUIPPED WITH TRACER WIRE.

SEWER NOTES:

- 1. CONSTRUCT ALL SEWERS, CATCH BASINS, MANHOLES AND APPURTENANCES IN ACCORDANCE WITH OPSD STANDARDS AND SPECIFICATIONS, AS
- 2. SEWER TRENCHING AND BEDDING SHALL CONFORM TO OPSD 802.010 AND 802.013 UNLESS NOTED OTHERWISE. 2.1. BEDDING SHALL BE A MINIMUM 150mm OF GRANULAR "A", COMPACTED TO MINIMUM 95% STANDARD PROCTOR DRY DENSITY. CLEAR STONE
- SUB-BEDDING, IF REQUIRED SHALL CONSIST OF 450mm OF COMPACTED GRANULAR "B" TYPE 1. 2.3. BACKFILL TO AT LEAST 300mm ABOVE TOP OF PIPE WITH GRANULAR "A" OR GRANULAR "B" TYPE 1.
 2.4. TO MINIMIZE DIFFERENTIAL FROST HEAVING, TRENCH BACKFILL (FROM PAVEMENT SUBGRADE TO 2.0 METRES BELOW FINISHED GRADE) SHALL
- MATCH EXISTING SOIL CONDITIONS. 3. SANITARY SEWERS AND CONNECTIONS 150mmØ AND SMALLER TO BE PVC SDR-28.
- 4. SEWERS AND CONNECTIONS 200mmØ AND LARGER TO BE PVC SDR-35. BEDDING TO BE TYPE "B" EXCEPT AT RISERS, UNLESS NOTED OTHERWISE.
- 5. INSULATE ALL STORM AND SANITARY SEWERS/SERVICES THAT HAVE LESS THAN 1.5m OF COVER WITH THERMAL INSULATION AS PER OPSD 1109.030.
- SEWER CONNECTIONS ARE TO BE MADE ABOVE THE SPRINGLINE OF THE SEWERMAIN AS PER CITY OF OTTAWA STANDARD DRAWING S11, S11.1 &
- 7. SUPPLY AND INSTALL ALL PIPING AND APPURTENANCES AS SHOWN AND DETAILED TO WITHIN 1.0m OF BUILDING. ALL ENDS OF SERVICES TO BE PROPERLY CAPPED AND LOCATED WITH 2"x4"X8' LONG MARKER.
- 8. CONTRACTOR TO TELEVISE (CCTV) ALL PROPOSED SEWERS ON SITE, OUTLET CONNECTION TO THE MAIN AND PIPES 150mmØ OR GREATER PRIOR TO BASE COURSE ASPHALT. UPON COMPLETION OF CONTRACT, THE CONTRACTOR IS RESPONSIBLE TO FLUSH AND CLEAN ALL SEWERS &
- 9. DYE TESTING IS TO BE COMPLETED ON SANITARY SERVICE TO CONFIRM PROPER CONNECTION TO SANITARY SEWER MAIN.

		SAN STRU	CTURE TAB	LE
NAME	RIM ELEV.	INVERT IN	INVERT OUT	DESCRIPTION
MH1A	137.06	N136.050	E135.986	COVER TYPE A FRAME OPSD 401.010 STRUCT. OPSD 701.010
MH2A	137.11	W135.880	N135.819	COVER TYPE A FRAME OPSD 401.010 STRUCT. OPSD

	:	STM STRU	CTURE TAE	BLE
NAME	RIM ELEV.	INVERT IN	INVERT OUT	DESCRIPTION
CB3	136.93		W135.306	COVER OPSD 400.020 FRAME OPSD 400.020 STRUCT. OPSD 705.010
CB4	136.96		N135.511	COVER OPSD 400.020 FRAME OPSD 400.020 STRUCT. OPSD 705.010 C/W TEMPEST LMF85 ICD
CB5	136.61		E135.590	COVER OPSD 400.020 FRAME OPSD 400.020 STRUCT. OPSD 705.010
MH1	137.09	N135.460 W135.450	E135.421	COVER TYPE A FRAME OPSD 401.010 STRUCT. OPSD 701.010
MH2	137.12	W135.300	N135.243	COVER TYPE A FRAME OPSD 401.010 STRUCT. OPSD 701.010

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	Willer.	Pocket State	RY SEE
1			SMITHED STREET
9,1		MOORE STREET	\ /
OTT RAP.	2011	BJECT SITE	* Change
LOCATIO	N PLAN	BJECT SITE	TRANK CHAROLE
LEGEND	\		V
	CONCRETE BARRIER CURB		LIMIT OF CONSTRUCTION
4.4.	CONCRETE WALKWAY		— DRAINAGE SWALE
	PROPOSED ASPHALT		DRAINAGE DITCH
LSCB#	LANDSCAPING CATCHBASIN		SLOPING AT 3:1 UNLESS SPECIFIED
CBMH#	CATCHBASIN MANHOLE	95 <u>.</u> 50	SURFACE ELEVATION
■CB# T/G	CATCHBASIN	95.50 (s)	SWALE ELEVATION
MH#A T/G	SANITARY SEWER MANHOLE	T/W95.50 B/W94.25	TOP OF WALL ELEVATION BOTTOM OF WALL ELEVATION
→ HYD B/F	FIRE HYDRANT		OVERLAND FLOW ROUTE - SILT FENCE BARRIER
↔	WATER METER		SILT FENCE BARRIER STRAW BALE CHECK DAM
⊗ ⊗	WATER METER	RXXX PÃO VAI	MUD MAT
®M	REMOTE WATER METER	6000	MOD WAI
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