



**Proposed Class II Development Permit
DP2-06-2025
60-66 Moore Street**

Subject Lands:

An application for a Class II Development Permit has been received for privately owned lands located at 60-66 Moore Street (legally described as Part of Lots 1 to 3 on Plan 376, except Part 2 on Reference Plan 26R-2368; Part 2 on Reference Plan 27R-5617, being Part 13 of Lot 16 Concession 11, Beckwith, now Town of Carleton Place).

The property is designated as “Mississippi Transitional” in both the Development Permit By-law and Official Plan.

Purpose and Effect of Application:

The purpose of the application is to consider the construction of a new two-storey multi-tenant commercial building (approximate gross floor area of 1,280m²). The proposed development will include site landscaping, parking and pedestrian amenities. The application requires a variation to the parking provisions prescribed in the Development Permit By-law to reduce the parking space requirement from 61 spaces to 32 spaces. No other variations to the By-law are required.

Additional Information and Submitting Comments:

Additional information in relation to the proposed development permit is available for review by visiting the Planning Department at Town Hall or by accessing the following hyperlink: <https://carletonplace.ca/town/municipal-services-info/development-services>

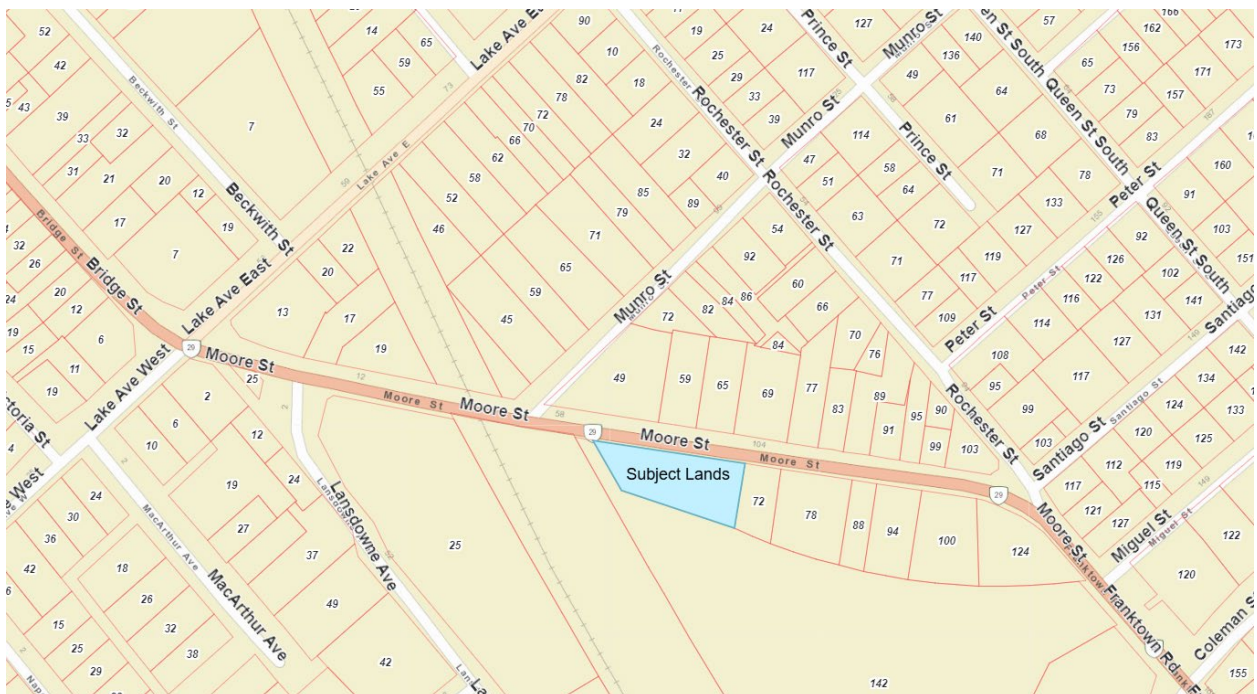
or

Comments can be submitted to the Planning Department in the following manner:

1. By visiting: <https://carletonplace.ca/planning-applications-comment-form>
2. By email: jhughes@carletonplace.ca
3. By mail to: Planning Dept. Town of Carleton Place
175 Bridge Street, Carleton Place ON K7C 2V8.

Comments are asked to be received by: **October 6, 2025.**

KEY MAP



DATED AT THE TOWN OF CARLETON PLACE THIS 19th DAY OF SEPTEMBER 2025