

- GENERAL NOTES:**
1. ORIGINAL TOPOGRAPHY, GROUND ELEVATION DATA AND LEGAL SURVEY INFORMATION SHOWN ON THE PLANS WERE DERIVED FROM PLAN OF SURVEY BY McINTOSH PERRY SURVEYING INC. DATED SEPTEMBER 25, 2023.
 2. PROPOSED BUILDING DIMENSIONS, LAYOUT, ELEVATIONS & DETAILS SHOWN ON THE DRAWINGS WERE DERIVED FROM ARCHITECTURAL DRAWINGS PROVIDED BY THE BUILDER/OWNER. ALL DIMENSIONS, ELEVATIONS AND SITE LAYOUT SHALL BE VERIFIED BY THE BUILDER/OWNER PRIOR TO CONSTRUCTION.
 3. BUILDER/OWNER IS RESPONSIBLE TO DETERMINE THE EXACT LOCATION, SIZE, MATERIAL AND ELEVATION OF ALL EXISTING SERVICES & UTILITIES PRIOR TO COMMENCING CONSTRUCTION. PROTECT AND ASSUME ALL RESPONSIBILITY FOR EXISTING UNDERGROUND SERVICES & UTILITIES WHETHER OR NOT SHOWN ON THESE DRAWINGS. IF THERE IS ANY DISCREPANCY THE BUILDER/OWNER IS TO NOTIFY THE ENGINEER PROMPTLY.
 4. THE BUILDER SHALL OBTAIN AND PAY FOR ALL APPLICABLE PERMITS AND APPROVALS FROM THE TOWN BEFORE COMMENCING CONSTRUCTION.
 5. PROPOSED GRADING SHALL NOT REVISED WITHOUT WRITTEN PERMISSION OF THE TOWN.
 6. PROPOSED SERVICES SHALL BE INSTALLED AS PER TOWN OF CARLETON PLACE AND/OR OPSD STANDARDS.
 7. BUILDER/OWNER SHALL CONFIRM ALL UTILITY SERVING WITH THE APPROPRIATE UTILITY PROVIDER PRIOR TO CONSTRUCTION.
 8. BUILDER/OWNER SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE DWELLING.
 9. BUILDER TO ENSURE ALL DOWNSPOUTS ARE DIRECTED TOWARD ROADWAY OR REAR YARD SVALE.
 10. BUILDER/OWNER IS RESPONSIBLE FOR ALL LAYOUT.
 11. ALL PERVIOUS/LAWN AREAS TO BE TREATED WITH 100mm TOPSOIL & SOD AS SOON AS FEASIBLE, EXCEPT WHERE NOTED.
 12. RESTORE ANY TRENCHES AND DISTURBED SURFACES OF PUBLIC ROAD ALLOWANCES TO CONDITION EQUAL OR BETTER THAN ORIGINAL CONDITION AND TO THE SATISFACTION OF TOWN AUTHORITIES.
 13. EXCAVATE AND DISPOSE OF ALL EXCESS EXCAVATED MATERIAL, SUCH AS ASPHALT, CURBING AND DEBRIS, OFF SITE.
 14. TOPSOIL TO BE STRIPPED AND STOCKPILED FOR REHABILITATION. CLEAN FILL TO BE PLACED IN FILL AREAS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 15. THE BUILDER/OWNER SHALL BE RESPONSIBLE FOR ANY TRAFFIC CONTROL AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING THE SUPPLY, INSTALLATION, AND REMOVAL OF ANY NECESSARY SIGNAGE, DELINEATORS, MARKERS AND BARRIERS.
 16. ALL ROADWAY, PARKING LOT, AND GRADING WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH APPROPRIATE TOWN STANDARDS AND SPECIFICATIONS.
 17. CONTACT THE PROJECT ENGINEER FOR INSPECTION OF ROUGH GRADING OF LOT & ROADWAY PRIOR TO PLACEMENT OF ASPHALT AND TOPSOIL. ANY DEFICIENCIES NOTED SHALL BE RECTIFIED TO THE SATISFACTION OF THE TOWN PRIOR TO PLACEMENT OF ANY ASPHALT, TOPSOIL, SEED AND/OR SOD.
 18. UTILITY SERVICE LOCATIONS ARE SUBJECT TO APPROVAL BY THE APPLICABLE UTILITY PROVIDER. UTILITY INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT CODES AND STANDARDS OF THE APPLICABLE UTILITY PROVIDER AND THE TOWN.
 19. TEMPORARY SEDIMENT CONTROL TO BE IMPLEMENTED BY BUILDER/OWNER DURING CONSTRUCTION ON ALL ROAD CATCHBASINS, REARYARD CATCHBASINS, AND CATCHBASIN MANHOLES. SILT SACKS SHALL BE INSTALLED IN ALL CATCHBASINS. SILT SACKS SHALL BE MONITORED WEEKLY AND AFTER ANY MAJOR STORM EVENT. ANY ACCUMULATED DEBRIS SHALL BE DISPOSED OF OFF-SITE. SILT SACKS SHALL REMAIN IN PLACE UNTIL VEGETATION HAS BEEN ESTABLISHED. NO RECYCLED GEOTEXTILE MATERIAL SHALL BE PERMITTED FOR USE ON SITE.
 20. SHOULD CONSTRUCTION OF ANY PROPOSED RETAINING WALLS REQUIRE THE USE OF THE ADJACENT PROPERTIES THE DEVELOPER WILL REQUIRE WRITTEN PERMISSION FROM APPLICABLE PRIVATE PROPERTY OWNER(S) PRIOR TO ENTERING PRIVATE PROPERTY.
 21. THE BUILDER/OWNER SHALL OBTAIN AN EXCAVATION PERMIT PRIOR TO ANY EXCAVATING WITHIN THE TOWN'S RIGHT OF WAY.

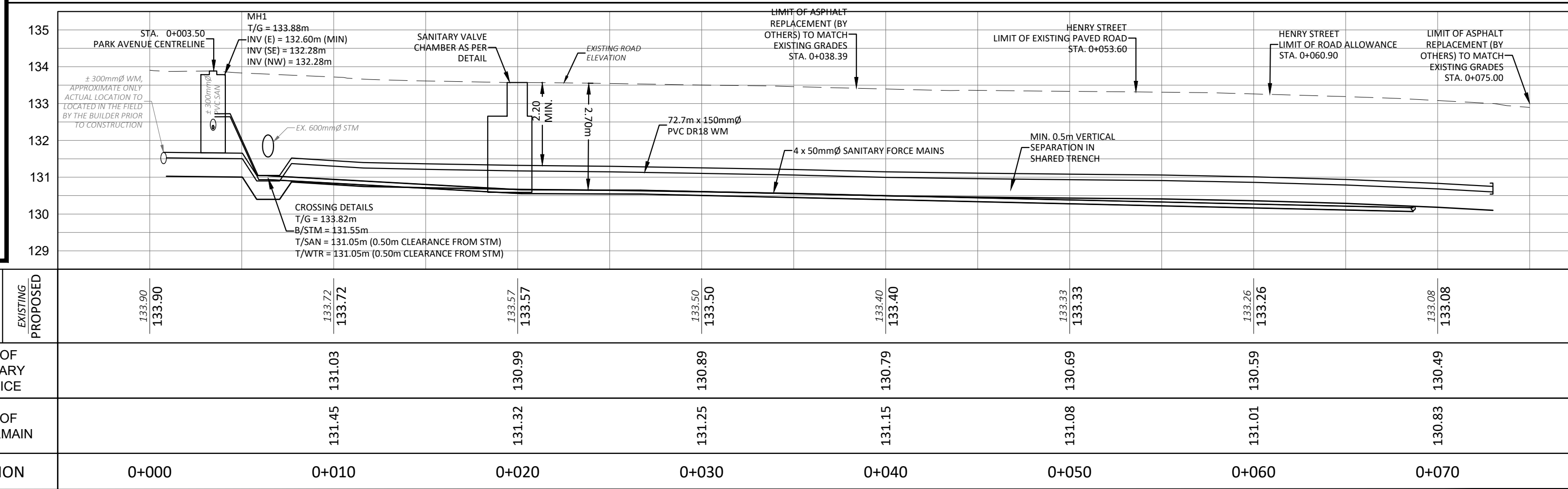
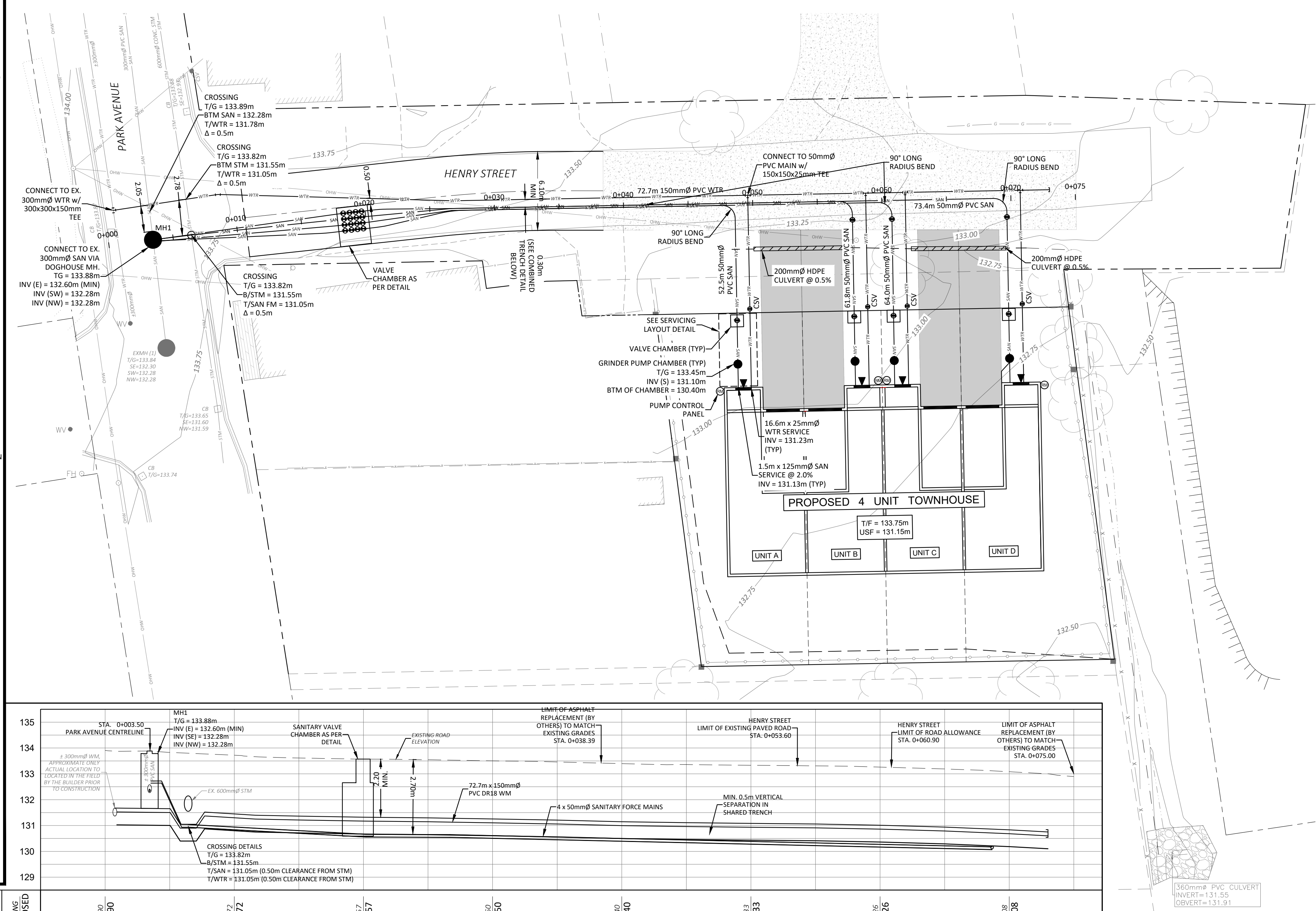
SEWER NOTES:

1. CONSTRUCT ALL SEWER AND APPURTENANCES TO ONTARIO PROVINCIAL STANDARD SPECIFICATIONS AND DRAWINGS, AS WELL AS THE TOWN OF CARLETON PLACE STANDARDS AS INDICATED.
2. SEWER TRENCHING AND BEDDING SHALL CONFORM TO OPSD 802.010 AND 802.013 UNLESS NOTED OTHERWISE:
 - 2.1. BEDDING SHALL BE A MINIMUM 150mm OF GRANULAR "A", COMPACTED TO MINIMUM 95% STANDARD PROCTOR DRY DENSITY. CLEAR STONE BEDDING SHALL NOT BE PERMITTED.
 - 2.2. SUB-BEDDING, IF REQUIRED SHALL BE AS PER THE DIRECTION GEOTECHNICAL ENGINEER.
 - 2.3. BACKFILL TO AT LEAST 300mm ABOVE TOP OF PIPE WITH GRANULAR "A" OR SAND.
 - 2.4. TO MINIMIZE DIFFERENTIAL FROST HEAVING, TRENCH BACKFILL (FROM PAVEMENT SUBGRADE TO 2 METRES BELOW FINISHED GRADE) SHALL MATCH EXISTING SOIL CONDITIONS.
3. LOW PRESSURE SEWERS AND CONNECTIONS 150mm DIAMETER AND SMALLER TO BE PVC SDR 28 OR APPROVED EQUIVALENT.
4. SEWERS AND CONNECTIONS 200mm DIAMETER AND LARGER TO BE PVC SDR 35 OR APPROVED EQUIVALENT.
5. ALL CATCH BASINS SHALL GRATES AS PER OPSD 400.020.
6. ALL SANITARY MAINTENANCE HOLE LIDS SHALL BE AS PER OPSD 401.010.
7. INSULATE ALL STORM AND SANITARY SEWERS/SERVICES THAT HAVE LESS THAN 1.5m OF COVER WITH THERMAL INSULATION.
8. SUPPLY AND INSTALL ALL PIPING AND APPURTENANCES AS SHOWN AND DETAILED TO WITHIN 1m OF BUILDING. ALL ENDS OF SERVICES TO BE PROPERLY CAPPED AND LOCATED WITH 2"x4"x8" LONG MARKER.
9. BACKWATER VALVES SHALL BE INSTALLED BY THE BUILDER/OWNER FOR ALL SEWER SERVICES.

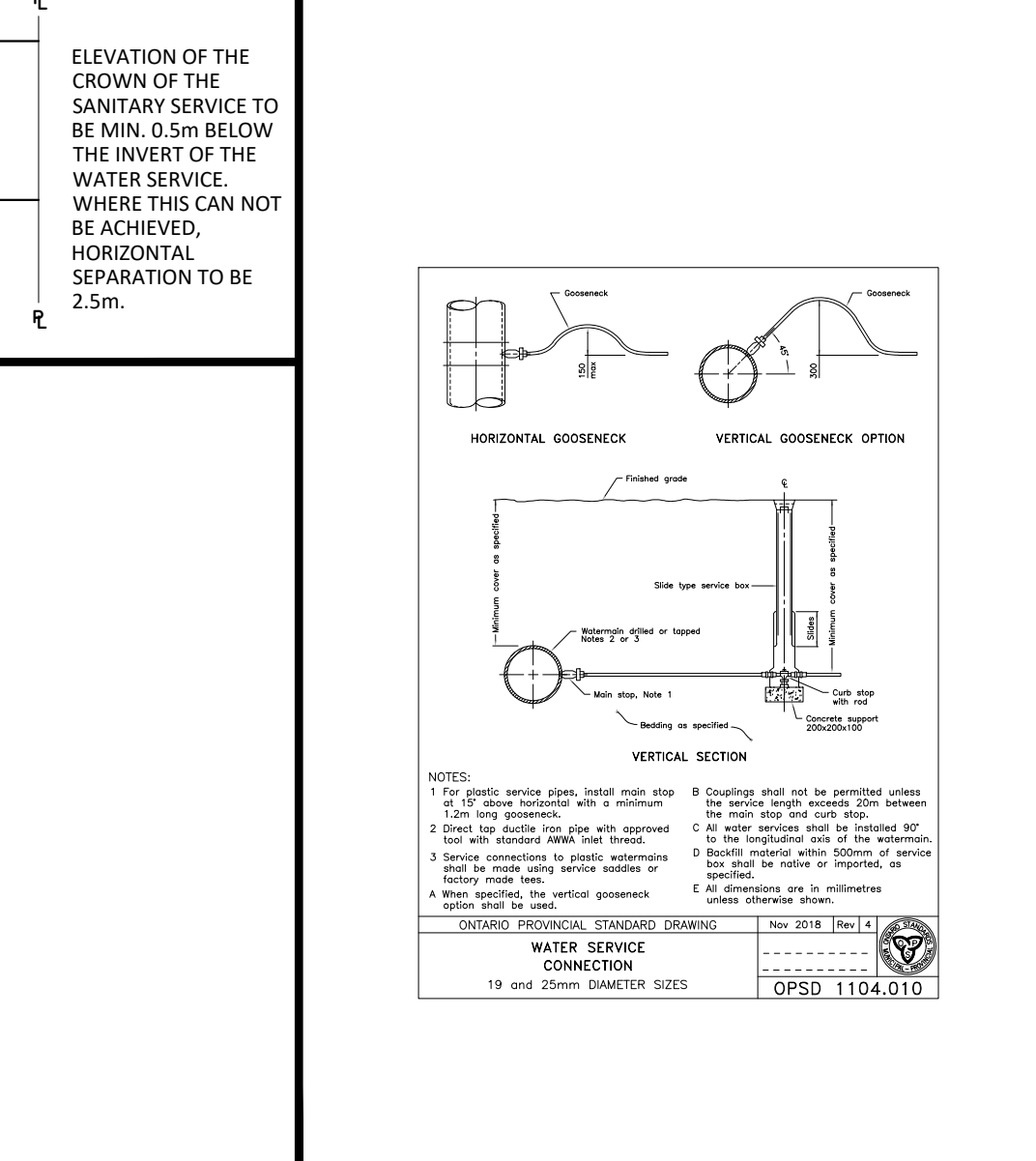
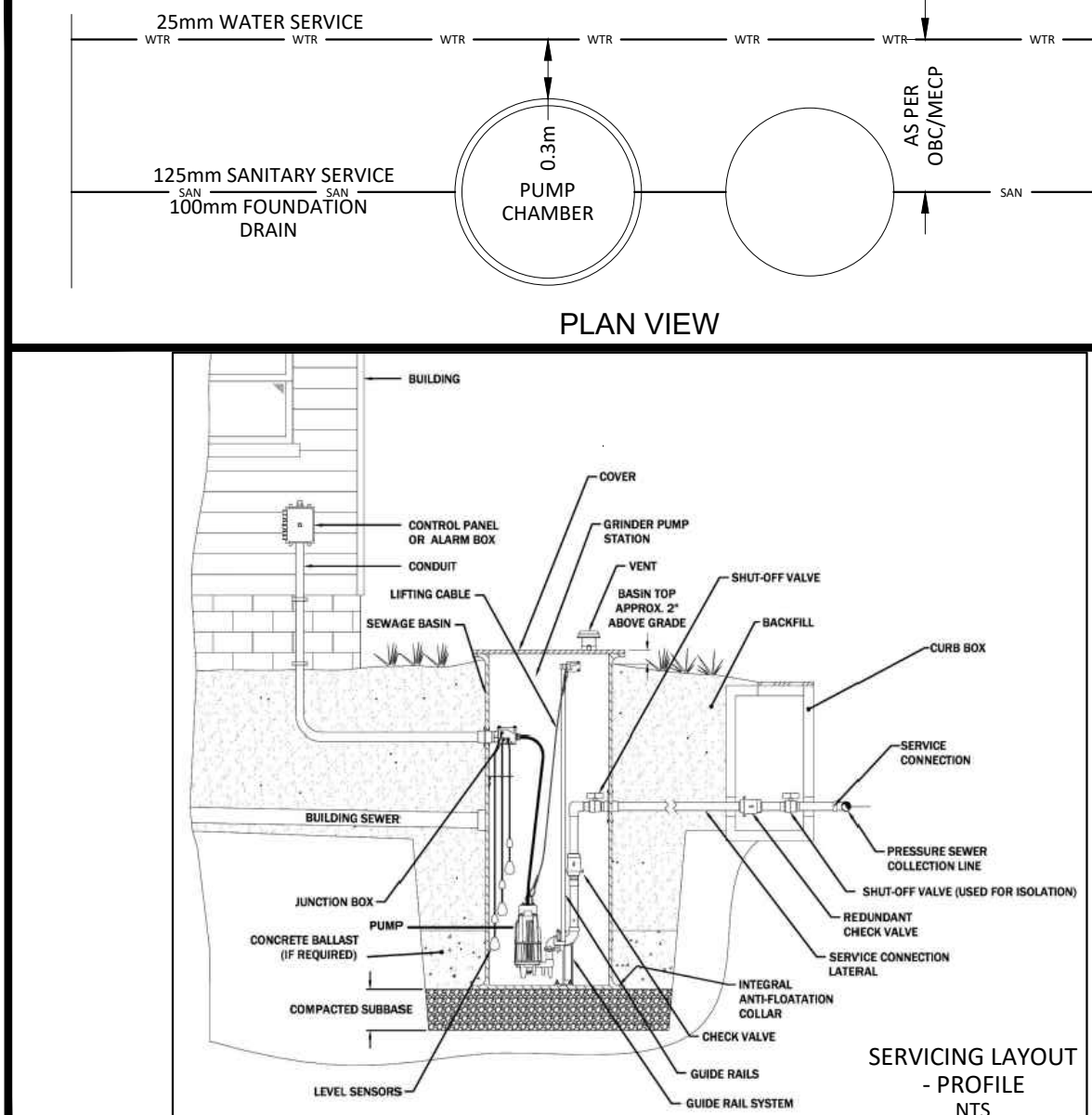
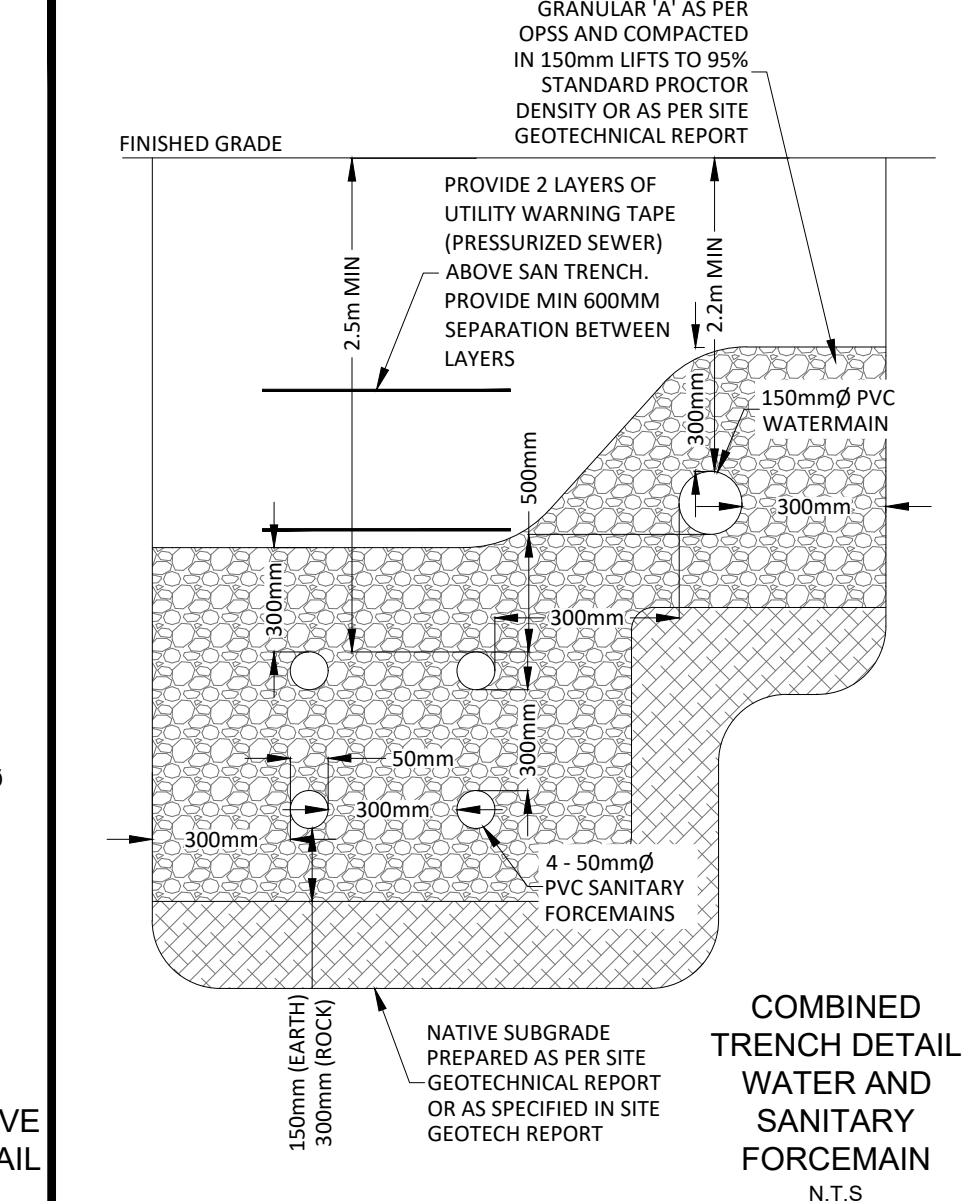
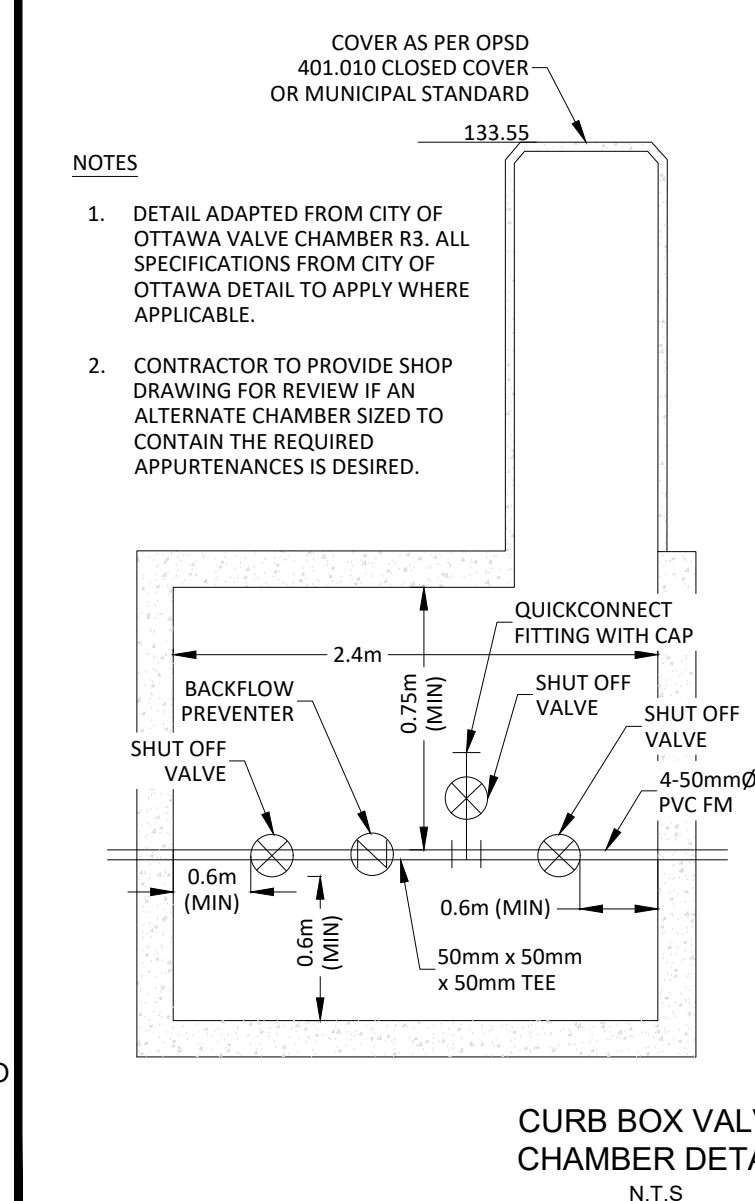
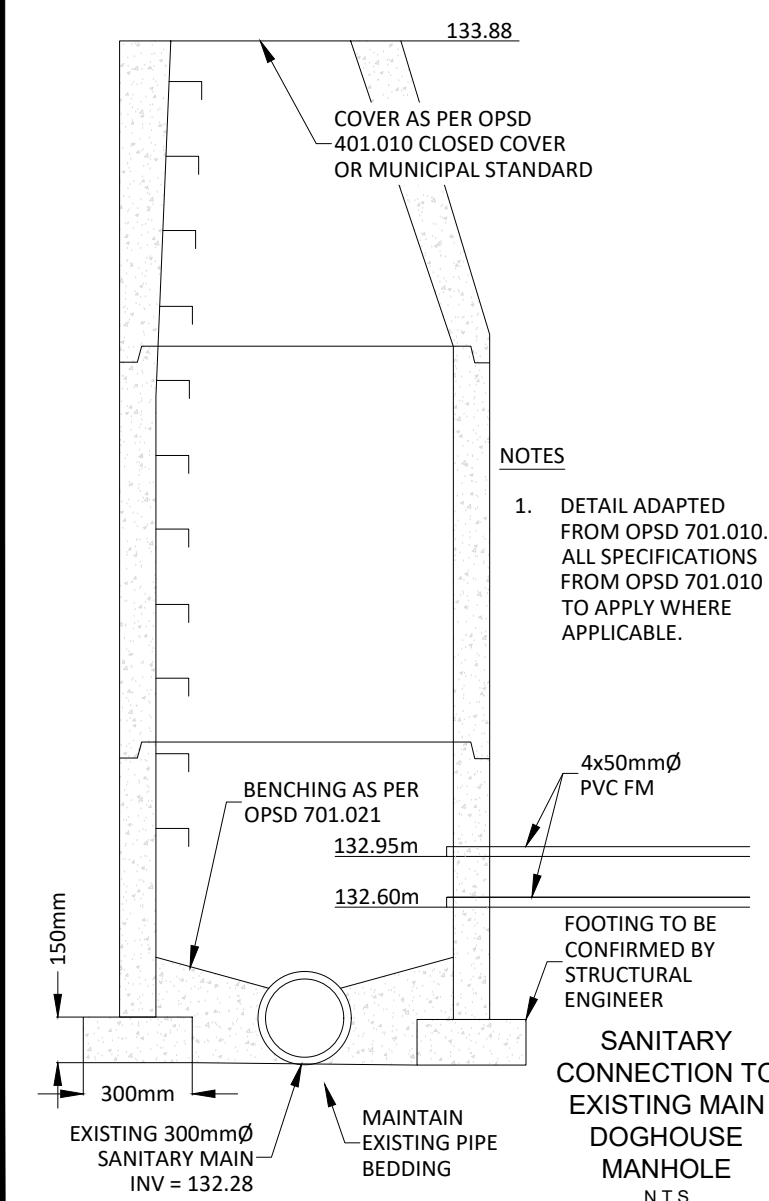
10. EACH LOT WILL REQUIRE AN INTERIOR OR EXTERIOR SANITARY LIFT STATION WITH A 2 HP SIMPLEX PUMP DISCHARGING THROUGH A 50MM DIAMETER FORCEMAIN/SERVICE LATERAL COMPLETE WITH BACKFLOW PREVENTER.
11. EACH UNIT IS TO BE EQUIPPED WITH A GRINDER PUMP WITH A MINIMUM HOLDING CAPACITY OF 265 L AND BE ABLE TO ACCOMMODATE FLOWS OF AT LEAST 2,650 L/D.
12. THE PUMPS AND FORCEMAINS TO BE INSTALLED WILL BE DESIGNED TO BE CAPABLE OF TRANSMITTING THE ESTIMATED PEAK WET WEATHER FLOW FOR EACH UNIT (0.05 L/S) OVER A MAXIMUM OF 67M HORIZONTALLY WITH AN ELEVATION GAIN OF 2.3M.

WATERMAIN NOTES:

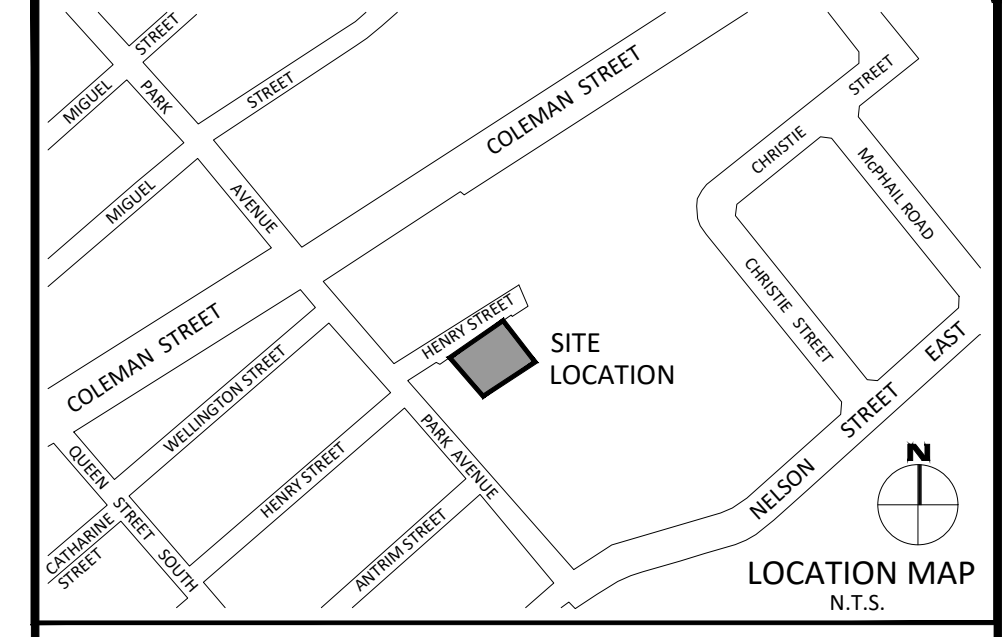
1. CONSTRUCT ALL WATERMAINS AND APPURTENANCES IN ACCORDANCE WITH OPSD STANDARDS AND SPECIFICATIONS AS WELL AS TOWN STANDARDS AS INDICATED.
2. RESIDENTIAL SERVICE CONNECTIONS TO BE 25mm COPPER OR APPROVED EQUIVALENT AND SHALL CONFORM TO ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.
3. EXCAVATION, INSTALLATION, CONNECTION TO EXISTING, BACKFILL AND RESTORATION OF ALL WATERMAIN AND SERVICES WILL BE COMPLETED BY THE DEVELOPER'S CONTRACTOR. CONNECTIONS TO THE EXISTING WATERMAIN SHALL BE COMPLETED IN THE PRESENCE OF A DESIGNATED MUNICIPAL WATER OPERATOR AND THE SELECTED CONTRACTOR SHALL PROVE TO THE SATISFACTION OF THE TOWN THAT THEY ARE COMPETENT TO PERFORM THE WORKS PRIOR TO INITIATING CONSTRUCTION.
4. WATERMAINS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 2.2m.
5. IF THE WATERMAIN OR WATER SERVICE MUST BE DEFLECTED TO MEET ALIGNMENT, ENSURE THAT THE AMOUNT OF DEFLECTION USED IS EQUAL TO OR LESS THAN THAT WHICH IS RECOMMENDED BY THE MANUFACTURER.
6. WATERMAINS TO BE PVC DR 18 OR APPROVED EQUIVALENT.
7. ALL WATERMAINS TO BE EQUIPPED WITH TRACER WIRE.
8. USE SADDLE CONNECTIONS WITH MAIN (CORPORATION) STOPS FOR SIZES 50mm AND SMALLER.
9. WATER QUALITY TESTING FOLLOWING CONSTRUCTION IS TO MEET TOWN OF CARLETON PLACE WATERMAIN COMMISSIONING PROTOCOL. BUILDER/OWNER IS RESPONSIBLE FOR COMPLETING THE WORK.
10. WATER METERS SHALL BE SUPPLIED BY THE TOWN AND INSTALLED BY THE CONTRACTOR AS PER TOWN STANDARDS.



ROAD ELEV.	EXISTING	PROPOSED	STATION	0+000	0+010	0+020	0+030	0+040	0+050	0+060	0+070
TOP OF SANITARY SERVICE				131.90	131.72	131.57	131.50	131.40	131.33	131.26	131.08
TOP OF WATERMAIN				131.45	131.32	131.25	131.15	131.08	131.01	130.83	130.49

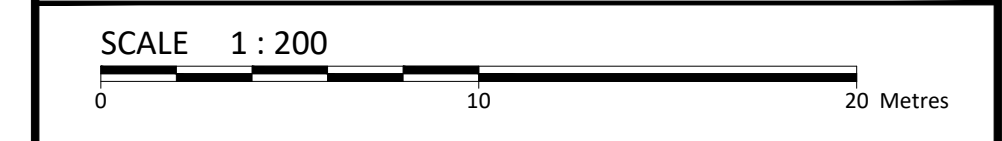


LEGEND	
LEGAL BOUNDARY	---
EX. ASPHALT	---
EX. GRAVEL	---
EX. FENCE	---
LOT CORNER GRADE	---
EX. GRADE	---
PROPOSED LOT LINE	---
PROPOSED CENTRELINE	---
PROPOSED ASPHALT	---
PROPOSED GRAVEL	---
PROPOSED DITCH	---
PROPOSED FENCE	---
PROPOSED TOP OF SLOPE	---
PROPOSED SPOT GRADE	---
BUILDING ENTRANCE	---
PROPOSED SILT FENCE	---
EXISTING STORM PIPE	---
EXISTING SANITARY PIPE	---
EXISTING WATER PIPE	---
PROPOSED STORM PIPE	---
PROPOSED SANITARY PIPE	---
PROPOSED WATER PIPE	---
EXISTING STORM MANHOLE	---
EXISTING CATCHBASIN	---
EXISTING CATCHBASIN MANHOLE	---
EXISTING SANITARY MANHOLE	---
PROPOSED STORM MANHOLE	---
PROPOSED CATCHBASIN	---
PROPOSED CATCHBASIN MANHOLE	---
PROPOSED SANITARY MANHOLE	---



FOR REVIEW ONLY
NOT FOR CONSTRUCTION

BENCHMARKS:		
No.	DESCRIPTION	ELEVATION
TBM#1	CONCRETE PIN IN UTILITY POLE	134.06m
2	ISSUED FOR SPA	JUL/17/2024
1	ISSUED FOR REVIEW	FEB/13/2024
No.	Revisions	Date



egis
1-1329 Gardiners Road
Kingston, ON K7P 0L8
Tel: 613-542-3788
Fax: 613-542-7583
www.egis-group.com

C.A. MACLEOD
100159105
JULY 17/2024
PROVINCE OF ONTARIO

Client: **GRIZZLY HOMES**
163 FOSTER ROAD
ASHTON ON K0A 1B0

Project: **214 HENRY STREET**

Drawing Title: **SERVICING PLAN**

Scale: 1:200
Project Number: CCO-21-2542
Drawn By: DL
Checked By: AM
Designed By: AM/DL