

Strategic Properties Amendment

Statutory Open House
October 14, 2025



Purpose of the Open House



The purpose of the open house is to present materials and information regarding the amendment, and participants are encouraged to review the material and provide comments on the comment sheets provided to the Planning Department.



Residents are encouraged to provide comments in writing or telephone by contacting the Development Services Department by email at ndwyer@carletonplace.ca or by phone at 613-257-6202.

HOW TO PARTICIPATE IN THE OPEN HOUSE



Review the materials in the
presentation deck



Think critically about how
the policy change may
impact you and the
development of the
community.



Provide your comments,
thoughts or questions on
the amendment to staff

Purpose and Effect



Add and remove permitted uses to all 5 Strategic Properties



Create site specific performance standards for each Strategic Property



Amend Site Specific Provisions which reflect the amended Official Plan policies



Create Site Specific Provisions which clarify interpretation of siting guidelines and features for preservation

Properties Impacted

1. DRS, 115 Emily Street
2. Wool Growers Site, 142 Franktown Road
3. McArthur Island, 150 Mill Street
4. Findlay Foundry, 28 High Street
5. Braydon Mill, 150 Rosamond Street



115 Emily Street

Site Specific Provisions

- Medium to High Density Uses
- 5% minimum non-residential uses
- Restoration and preservation of the Stone Mill Building
- Encourage lot creation through new streets
- Buffering to adjacent low-density uses
- Encourage low density uses on new streets

Site Provisions	Requirements
Lot Area (minimum)	No minimum.
Lot Coverage (maximum)	70%
Density (Maximum)	1 residential unit per 250 m2 of lot area.
Lot Frontage (minimum)	20m
Front Yard Setback (minimum)	6m
Exterior Side Yard Setback (minimum)	4.5m
Interior Side Yard Setback (minimum)	1.2 m or where adjacent to existing residential uses it shall be 6 m.
Rear Yard Setback (minimum)	8 m
Usable Open Space in the form of a balcony, ground floor patio or rooftop patio (minimum) AND Usable Landscape Open Space	5 m2 per residential unit AND 20% Landscaped Usable Open Space at surface level.
Building Height (maximum)	20 m Buildings over 11 m (or 3 storeys) shall be stepped back with each successive storey at 45.0 degrees from the street line.

Wool Growers

Site Specific Provisions

- Encourage restoration of existing buildings
- Encourage lot creation through new streets
- Restrict redevelopment of existing buildings to commercial uses
- Residential uses permitted through apartments, stacked towns or street fronting towns.

Site Provisions	Requirements
Lot Area (minimum)	No minimum.
Lot Coverage (maximum)	70%
Density (Maximum)	1 residential unit per 250 m2 of lot area.
Lot Frontage (minimum)	20m
Front Yard Setback (minimum)	6m
Exterior Side Yard Setback (minimum)	4.5m
Interior Side Yard Setback (minimum)	1.2 m Or where adjacent to existing residential uses it shall be 6 m.
Rear Yard Setback (minimum)	8 m
Usable Open Space in the form of a balcony, ground floor patio or rooftop patio (minimum) AND Usable Landscape Open Space	5 m2 per residential unit AND 20% Landscaped Usable Open Space at surface level.
Building Height (maximum)	20 m Buildings over 11 m (or 3 storeys) shall be stepped back with each successive storey at 45.0 degrees from the street line.

McArthur Island

Site Specific Provisions

- No change from existing policy

Findlay Foundry

Site Specific Provisions

- No change from existing policy

Braydon Mill

Site Specific Provisions

- Residential uses in a mixed-use environment
- Commercial uses of between 5-30% of the net floor area
- Encourage restoration and redevelopment of the existing buildings

Site Provisions	Requirements
Lot Area (minimum)	No minimum.
Lot Coverage (maximum)	70%
Density (Maximum)	1 residential unit per 250m2of lot area.
Commercial Net Floor Area (Minimum)	5%
Commercial Net Floor Area (Maximum)	30%
Lot Frontage (minimum)	20m
Front Yard Setback(minimum)	6m
Exterior Side Yard Setback (maximum)	4.5 m
Interior Side Yard Setback (minimum)	3m
Rear Yard Setback(minimum)	No minimum.
Usable Open Space in the form of a balcony, ground floor patio or rooftop patio (minimum) AND Usable Landscape Open Space	5 m2 per residential unit AND 20% Landscaped Usable Open Space at surface level.
Building Height (maximum)	16m Buildings over 11 m (or 3storeys) shall be stepped back with each successive storey at 45.0 degrees from the street line.

Next Steps



Leave your Contact Info

Sign in at the front door so staff can keep you posted as the file progresses.

Provide your Feedback

All comments are welcome and can be provided by email to ndwyer@carletonplace.ca referencing file DPA-03-2025.

Attend the Public Meeting

The Public Meeting is schedule for October 21, 2025 at 7:00pm in the Council Chambers. Please register with the Clerk in advance of the meeting.

Thank you

———— **For attending!**

For more information please contact

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613-257-6202

