## Strategic Properties Amendment

Statutory Open House October 14, 2025



# Purpose of the Open House

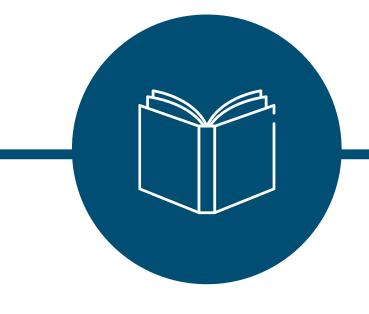


The purpose of the open house is to present materials and information regarding the amendment, and participants are encouraged to review the material and provide comments on the comment sheets provided to the Planning Department.



Residents are encouraged to provide comments in writing or telephone by contacting the Development Services Department by email at <a href="mailto:ndwyer@carletonplace.ca">ndwyer@carletonplace.ca</a> or by phone at 613-257-6202.

## HOW TO PARTICIPATE IN THE OPEN HOUSE



Review the materials in the presentation deck



Think critically about how the policy change may impact you and the development of the community.



Provide your comments, thoughts or questions on the amendment to staff

#### Purpose and Effect



Add and remove permitted uses to all 5 Strategic Properties



Create site specific performance standards for each Strategic Property



Amend Site Specific Provisions which reflect the amended Official Plan policies



Create Site Specific Provisions which clarify interpretation of siting guidelines and features for preservation

Properties Impacted

1. DRS, 115 Emily Street

2. Wool Growers Site, 142 Franktown Road

3. McArthur Island, 150 Mill Street

4. Findlay Foundry, 28 High Street

5. Braydon Mill, 150 Rosamond Street



### 115 Emily Street

#### **Site Specific Provisions**

- Medium to High Density Uses
- 5% minimum non-residential uses
- Restoration and preservation of the Stone Mill Building
- Encourage lot creation through new streets
- Buffering to adjacent low-density uses
- Encourage low density uses on new streets

Site Provisions	Requirements
Lot Area (minimum)	No minimum.
Lot Coverage (maximum)	70%
Density (Maximum)	1 residential unit per 250 m2 of
	lot area.
Lot Frontage (minimum)	20m
Front Yard Setback (minimum)	6m
Exterior Side Yard Setback (minimum)	4.5m
Interior Side Yard Setback (minimum)	1.2 m or where adjacent to existing residential uses it shall be 6 m.
Rear Yard Setback (minimum)	8 m
Usable Open Space in the form of a balcony, ground floor patio or rooftop patio	5 m2 per residential unit AND
(minimum)	20% Landscaped Usable Open
AND	Space at surface level.
Usable Landscape Open Space	
Building Height (maximum)	20 m Buildings over 11 m (or 3 storeys) shall be stepped back with each successive storey at 45.0 degrees from the street line.

#### Wool Growers

#### **Site Specific Provisions**

- Encourage restoration of existing buildings
- Encourage lot creation through new streets
- Restrict redevelopment of existing buildings to commercial uses
- Residential uses permitted through apartments, stacked towns or street fronting towns.

Site Provisions	Requirements
Lot Area (minimum)	No minimum.
Lot Coverage (maximum)	70%
Density (Maximum)	1 residential unit per 250 m2 of
	lot area.
Lot Frontage (minimum)	20m
Front Yard Setback (minimum)	6m
Exterior Side Yard Setback	4.5m
(minimum)	
Interior Side Yard Setback	1.2 m Or where adjacent to
(minimum)	existing residential uses it
	shall be 6 m.
Rear Yard Setback (minimum)	8 m
Usable Open Space in the form	5 m2 per residential unit AND
of a balcony, ground floor	
patio or rooftop patio	20% Landscaped Usable Open
(minimum)	Space at surface level.
AND	-
Usable Landscape Open Space	
Building Height (maximum)	20 m
	Buildings over 11 m (or 3
	storeys) shall be stepped back
	with each successive storey at
	45.0 degrees from the street
	line.
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#### McArthur Island

#### **Site Specific Provisions**

No change from existing policy

### Findlay Foundry

#### **Site Specific Provisions**

No change from existing policy

### Braydon Mill

#### **Site Specific Provisions**

- Residential uses in a mixed-use environment
- Commercial uses of between 5-30% of the net floor area
- Encourage restoration and redevelopment of the existing buildings

Site Provisions	Requirements
Lot Area (minimum)	No minimum.
Lot Coverage (maximum)	70%
Density (Maximum)	1 residential unit per 250m2of lot area.
Commercial Net Floor Area (Minimum)	5%
Commercial Net Floor Area (Maximum)	30%
Lot Frontage (minimum)	20m
Front Yard Setback(minimum)	6m
Exterior Side Yard Setback (maximum)	4.5 m
Interior Side Yard Setback (minimum)	3m
Rear Yard Setback(minimum)	No minimum.
Usable Open Space in the form of a balcony, ground floor patio or rooftop	5 m2 per residential unit AND
patio (minimum) AND	20% Landscaped Usable Open Space at surface level.
Usable Landscape Open Space	
Building Height (maximum)	16m Buildings over 11 m (or 3storeys) shall be stepped back with each successive storey at 45.0 degrees from the street line.

## Next Steps

### Leave your Contact Info

Sign in at the front door so staff can keep you posted as the file progresses.

### Provide your Feedback

All comments are welcome and can be provided by email to ndwyer@carletonplace.ca referencing file DPA-03-2025.

## Attend the Public Meeting

The Public Meeting is schedule for October 21, 2025 at 7:00pm in the Council Chambers. Please register with the Clerk in advance of the meeting.

## Thank you

For attending!

For more information please contact

Niki Dwyer, MCIP RPP

Director of Development Services

ndwyer@carletonplace.ca

613-257-6202



