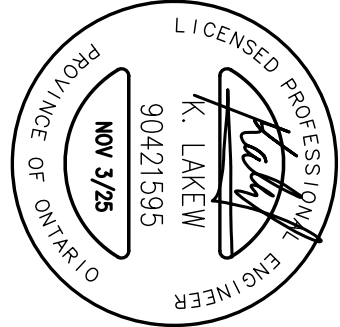


DRAWING NUMBER: 250914—GR

CONSTRUCTION NOTES:

- All dimensions and elevations are in metres. Do not scale drawing.
- This drawing is not a legal survey, a utility plan or a site plan and is for grading purposes only.
- TBM = Top of spindle on fire hydrant, elevation = 140.16 metres.
- This drawing cannot be accepted as acknowledging all of the utilities, and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
- This drawing is not for construction until approved by the relevant authorities.
- Contractor is responsible for location and protection of utilities.
- Top of Foundation (TOF) elevation and Underside of Footing (USF) elevation for building are as shown on drawing.
- Finished grade around building to be as shown.
- Maximum allowable slope on site is 3H:1V. Finished grade to slope away from building at all sides at a minimum of 2%, and a maximum of 7%.
- All dimensions to be verified on site by contractor prior to construction.
- Client is responsible for acquiring all necessary permits.
- The proposed grades have been set and verified for site grading control only. The grade raise at the building location should be verified with regard to subsurface conditions by qualified geotechnical personnel after completion of the excavation.
- The underside of footing elevation may not have accounted for actual ground water conditions at the exact building location and should be verified by qualified geotechnical personnel upon completion of the excavation.
- A geotechnical engineer should be retained to provide geotechnical recommendations with respect to the subgrade conditions prior to footing installation.
- Frost protection will be required for the foundation footing where the soil cover over the underside of footing is less than 1.52 metres.
- Any changes made to this plan must be verified and approved by Kollaard Associates Inc.



**Kollaard Associates**  
Engineers

(613) 860-0923

210 PRESCOTT STREET  
PO BOX 189  
KEMPVILLE ONTARIO  
K0G 1J0  
www.kollaard.ca  
info@kollaard.ca

CLIENT:

DOUG TUCKER

PROJECT:

SINGLE FAMILY DWELLING

DRAWING:

PROPOSED LOT GRADING PLAN

LOCATION:

289 BRIDGE STREET  
R.P. PLAN 27R-9596,  
PARTS 2 & 3 OF LOTS 28 & 29  
LOT 14, CONC. 12,  
BECKWITH,  
TOWN OF CARLETON PLACE

DESIGNED BY:

NR

DATE:  
NOV 3, 2025

DRAWN BY:

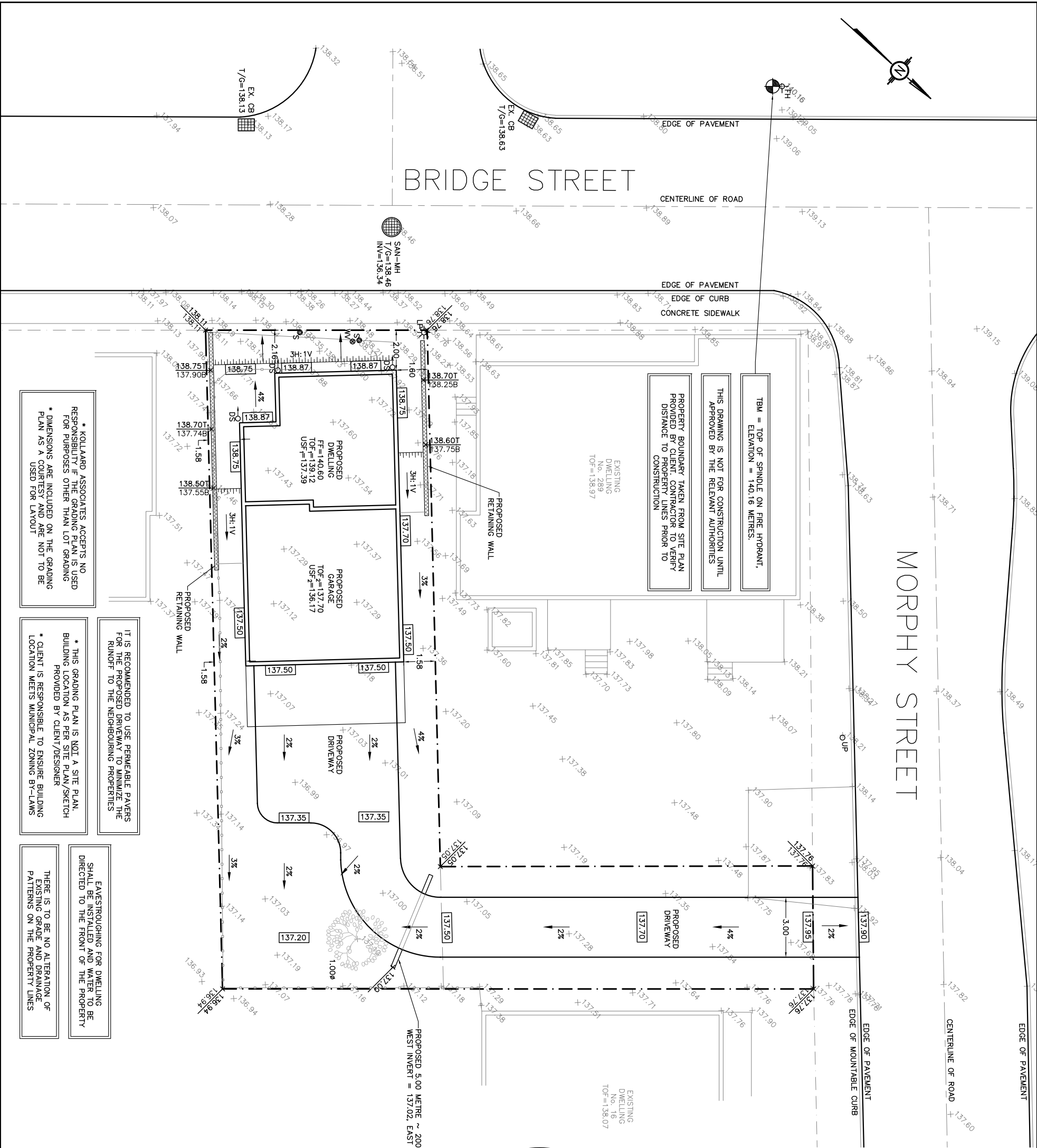
NR

SCALE:  
1:200

KOLLAARD FILE NUMBER:

250914

LEGEND	
	EXISTING ELEVATIONS
	PROPOSED ELEVATIONS
	DRAINAGE SLOPE
	EXISTING DRAINAGE
	PROPERTY LINE
	TERRACING AS NOTED
	FIRE HYDRANT
	UTILITY POLE
	TOP OF RETAINING WALL
	BOTTOM OF RETAINING WALL
	PROPOSED SWALE
	TEMPORARY BENCHMARK
	DOWN SPOUT



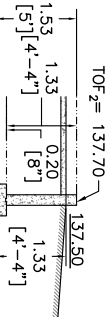
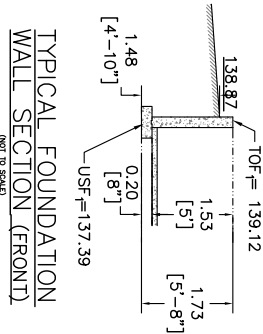
\* KOLLAARD ASSOCIATES ACCEPTS NO RESPONSIBILITY IF THE GRADING PLAN IS USED FOR PURPOSES OTHER THAN LOT GRADING  
\* DIMENSIONS ARE INCLUDED ON THE GRADING PLAN AS A COURTESY AND ARE NOT TO BE USED FOR LAYOUT

\* THIS GRADING PLAN IS NOT A SITE PLAN. BUILDING LOCATION AS PER SITE PLAN/SKETCH PROVIDED BY CLIENT/DESIGNER  
\* CLIENT IS RESPONSIBLE TO ENSURE BUILDING LOCATION MEETS MUNICIPAL ZONING BY-LAWS

IT IS RECOMMENDED TO USE PERMEABLE PAVERS FOR THE PROPOSED DRIVEWAY TO MINIMIZE THE RUNOFF TO THE NEIGHBOURING PROPERTIES

EAVESTROUGHING FOR DWELLING SHALL BE INSTALLED AND WATER TO BE DIRECTED TO THE FRONT OF THE PROPERTY

THERE IS TO BE NO ALTERATION OF EXISTING GRADE AND DRAINAGE PATTERNS ON THE PROPERTY LINES



TYPICAL FOUNDATION WALL SECTION (GARAGE)